



**NOTICE OF A WORK SESSION OF THE TOWN COUNCIL
OF THE TOWN OF CLARKDALE
MONDAY, AUGUST 10, 2026 AT 4:00 PM**

In Person: Clark Memorial Clubhouse, 19 N. Ninth St., Clarkdale AZ
Unless otherwise stated, the public will have physical access to the meeting place 15 minutes prior to the meeting start time.

Town of Clarkdale Vision

The Town of Clarkdale capitalizes on our unique history, proximity to the Verde River, and small-town charm. We cultivate an environment where residents and businesses can thrive. We sustainably enhance our infrastructure, support the arts and education, and develop recreational opportunities to create a bright future for our entire community.

PURSUANT TO A.R.S. §38-431.02, NOTICE IS HEREBY GIVEN to the members of the Common Council of the Town of Clarkdale and to the general public that the Town of Clarkdale Town Council will hold a Work Session open to the public on Monday, August 10, 2026, at 4:00 PM in person at 19 N. Ninth Street, Clarkdale, Arizona, Clark Memorial Clubhouse, Men's Lounge. Members of the Clarkdale Common Council will attend in person or by telephone, video or internet conferencing. Pursuant to A.R.S. §38-431.03, the Council may vote to recess the meeting and move into Executive Session on any item, which will be held immediately after the vote and will not be open to the public. Upon completion of Executive Session, the Council may resume the meeting, open to the public, to address the remaining items on the agenda.

Supporting documentation and staff reports furnished to the Council with this agenda are available for review on the Town website at www.clarkdale.az.gov and the Town Clerk's Office.

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR DISCUSSION AND POSSIBLE ACTION, UNLESS OTHERWISE NOTED.

1. CALL TO ORDER

2. ROLL CALL

3. DISCUSSION ITEMS

A. Certified Local Government

Discussion regarding the progress toward a Certified Local Government (CLG) designation and the Historic Preservation Commission's desire to continue the pursuit.

B. E-Bike Ordinance

Discussion only to review the draft of an ordinance pertaining to updating Article 14-2, Section 14-2-4, to include the use of Electrical Bicycles (E-bikes).

C. Design Standards

The purpose of this discussion is to obtain initial feedback from Town Council regarding the draft Design Standards and identify any modifications that should be considered prior to future

code adoption. The draft standards focus on measurable elements such as building orientation, transparency, facade articulation, materials, pedestrian connectivity, screening, and site design.

4. ADJOURNMENT

Values

Values are the guiding principles that provide an organization with purpose and direction. The Town of Clarkdale's organizational values are:

COPPER

Customer focused

Open, transparent and equitable

Preserving our history, charm, and environment

Planning for a sustainable future

Economic and social resiliency

Resourceful and innovative

Mission

The Town of Clarkdale serves the community by providing amenities, infrastructure, services, and public safety to enhance quality of life. We are stewards of our history while we sustainably and resiliently plan for the future with an emphasis on community engagement and transparency.

Persons with a disability may request reasonable accommodations by contacting the Town Hall at (928) 639-2400 (TTY: 1-800-367-8939) at least 72 hours in advance of the meeting.



Staff Report

Item Number: 3.A.

Agenda Item:

Certified Local Government

Discussion regarding the progress toward a Certified Local Government (CLG) designation and the Historic Preservation Commission's desire to continue the pursuit.

Staff Contact:

Meeting Date:

August 10, 2026

Strategic Goal:

This agenda item supports the following Clarkdale Strategic Goal Area:

- Goal Area 1 - Enhance the quality of life for residents, businesses and visitors to Clarkdale.
- Goal Area 2 - Enhance the quality and availability of parks, recreation and cultural opportunities.

Background:

Clarkdale began exploring Certified Local Government (CLG) designation as part of the Town's ongoing efforts to preserve and protect its historic resources. The Commission would like to present the progress made to date and discuss the potential benefits of CLG designation in support of continuing the Town's pursuit of the program. Staff would like direction from Council on whether to move forward with obtaining CLG status for the Town.

Budget Impact:

No budget impact.

Recommendation:

No recommendation, discussion only.



Staff Report

Item Number: 3.B.

<u>Agenda Item:</u>	E-Bike Ordinance Discussion only to review the draft of an ordinance pertaining to updating Article 14-2, Section 14-2-4, to include the use of Electrical Bicycles (E-bikes).
<u>Staff Contact:</u>	Randy Taylor, Police Chief
<u>Meeting Date:</u>	August 10, 2026
<u>Strategic Goal:</u>	This agenda item supports the following Clarkdale Strategic Goal Area: • Goal Area 1 - Enhance the quality of life for residents, businesses and visitors to Clarkdale.
<u>Background:</u>	The Police Department would like to update Article 14-2 §14-2-4 of the Town Code to modernize regulations governing the operation of E-bikes within town limits. Since the existing ordinance was adopted in 2016, the popularity and use of e-bikes have increased significantly, resulting in the need to review current regulations to enhance public safety while promoting responsible use. The proposed ordinance updates the definition of E-bikes to reflect Arizona's three-class system, establishes operational restrictions based on roadway speed limits, hours of operation, and permitted locations. It outlines required safety equipment, reinforces compliance with applicable traffic laws, and establishes enforcement provisions. The proposed changes are intended to improve safety for residents and visitors while providing clear guidance regarding the lawful operation of e-bikes within the Town of Clarkdale.
<u>Budget Impact:</u>	No anticipated fiscal impact. Any enforcement would be conducted using existing Police Department resources.
<u>Recommendation:</u>	No recommendation. Disussion only.

A. Definition. An “Electric Bicycle” is defined as a traditional bicycle equipped with a rechargeable battery and a small electric motor.

B. Arizona uses a 3-class system to categorize electric bicycles,

Class 1: Pedal assist electric motor. Top propulsion speed of 20 mph.

Class 2: Electric motor controlled with a throttle. Top propulsion speed of 20 mph.

Class 3: Pedal-assist electric motor. Top speed of 28 mph.

C. Electric Bicycles are prohibited:

1. On any street, roadway or highway with a posted speed limit of greater than twenty-five (25) miles per hour unless a sidewalk or bike lane is available.

2. On any public property not held open to public vehicle use.

3. On any private property without the written permission of the owner.

4. On a public right-of-way, including streets, roadways and alleyways, except during daylight hours. During nighttime/twilight hours, bicycles must have a headlamp and taillamp visible.

D. Traffic laws such as those regulating red lights, stop signs, crosswalks, speeding, yielding, and movements on the roadway also apply to electric bicycles.

E. Electric Bicycles may be operated on a designated bicycle path or lane, but electric bicycle operators shall yield at all times to other users. The following is also prohibited:

1. Carrying passengers.

2. Attaching an electric bicycle in any manner to any other vehicle or person.

3. Carrying any package or bundle preventing the operator from keeping his or her hands on the steering mechanism.

4. Structurally or mechanically altering the original manufacturer's design.

F. Electric Bicycle operators are required to ride as close as practical to the right-hand curb or edge of the roadway except when passing other vehicles, preparing for or executing a left turn, or when reasonably necessary to avoid hazardous conditions.

G. The required safety equipment is as follows:

1. A brake enabling the operator to make a brake wheel(s) skid on dry pavement.

2. A protective helmet (if the operator is under age eighteen (18)) which meets the minimum standards of testing and safety inspection by the bicycle industry.

3. Protective glasses, goggles, or transparent face shield.

H. Violations of this section are civil traffic violations and will be prosecuted and punished in the same manner by law as other civil traffic violations. Parents are ultimately responsible for the actions and safety of their children. No parent, guardian or custodian of a child under eighteen (18) years of age shall authorize or knowingly permit the child to violate this section. [Ordinance #372, 2016; Resolution #1516, 2016; prior code § 14-2-4.]



Staff Report

Item Number: 3.C.

Agenda Item:**Design Standards**

The purpose of this discussion is to obtain initial feedback from Town Council regarding the draft Design Standards and identify any modifications that should be considered prior to future code adoption. The draft standards focus on measurable elements such as building orientation, transparency, facade articulation, materials, pedestrian connectivity, screening, and site design.

Staff Contact:

Scott Ellis, Community Development Director

Meeting Date:

August 10, 2026

Strategic Goal:

This agenda item supports the following Clarkdale Strategic Goal Area:

- Goal Area 1 - Enhance the quality of life for residents, businesses and visitors to Clarkdale.
- Goal Area 3 - Strengthen and diversify our economy through cultivating a business-friendly climate for business attraction and strategically capitalizing upon tourism.

Background:

As part of the Town's recently completed 13-chapter Zoning Code Update, staff evaluated opportunities to modernize and clarify the Town's development standards while maintaining compliance with evolving Arizona law.

One area identified for future consideration is the adoption of objective Design Standards applicable to central business, commercial, industrial, and multi-family development. Historically, design review standards in Arizona communities have often relied upon subjective language and discretionary interpretation.

Recent legislative actions, including House Bill 2447 and subsequent discussions at the state level, have emphasized the use of objective, measurable standards and administrative review procedures in place of subjective design criteria.

Staff has prepared a draft set of objective Design Standards for discussion purposes and future consideration. The draft standards focus on measurable elements such as building orientation, transparency, facade articulation, materials, pedestrian connectivity, screening, and site design. The proposed standards are intended to:

- Encourage development that reinforces Clarkdale's community

character.

- Promote durable materials and site planning that support long-term investment.
- Improve pedestrian safety, accessibility, and connectivity.
- Reduce the visual impact of blank walls, excessive massing, exposed equipment, outdoor storage, and service areas.
- Provide predictable standards that support administrative review.

Budget Impact: The proposed amendment/policy is administrative in nature and is not expected to have a fiscal impact on the Town.

Recommendation: No recommendation. Discussion only.



Design Standards

Central Business ~ Commercial ~ Multi-Family ~ Industrial

Clear, objective, and measurable standards for site planning, building design, materials, pedestrian access, and screening.

Town Council Work Session / Working Draft / August 2026

Introduction

The Town of Clarkdale Design Standards establish clear, objective, and measurable requirements for Central Business, Commercial, Multi-family, and Industrial development. The standards provide applicants and reviewers with predictable criteria for site planning, building design, materials, pedestrian access, landscaping, and screening.

The standards do not prescribe a specific architectural style. They focus on measurable design elements including building orientation, pedestrian access, façade articulation, exterior materials, transparency, site design, color, landscaping, and screening.

A. Applicability.

1. The standards of this Section shall apply to:
 - a. New commercial buildings;
 - b. Mixed-use buildings;
 - c. Multi-family residential development (over four units);
 - d. Exterior expansions exceeding 25 percent of an existing building footprint;
 - e. Major façade remodels visible from a public street;
 - f. Developments subject to Design Review.
 - g. The following are exempt:
 - i. Ordinary maintenance and repair;
 - ii. Interior remodels;
 - iii. Re-roofing with similar materials/colors;
 - iv. Replacement of windows, doors, or siding matching existing materials and dimensions;
 - v. Single-family detached dwellings unless otherwise specified.
 - vi. Properties located in the Historic Preservation district.

B. Site Design.

The following standards establish objective site-planning requirements for pedestrian access, building placement, parking, landscaping, and loading areas.

1. Building Placement Standards

- a. Primary buildings shall be oriented toward a public street, public open space, or internal pedestrian circulation system, with the primary entrance facing that street, open space, or pedestrian system.
- b. Buildings on corner lots shall provide at least one of the following on each street-facing elevation: a window, material change, pilaster, recess, projection, canopy, awning, or entrance. The primary entrance shall orient towards either:
 - i. The street corner; or
 - ii. The street with the greatest frontage.

2. Solid Fence Standards

- a. Solid fences visible from a public street shall comply with the blank wall articulation standards in Section B.3.

3. Parking Location Standards

- a. Surface parking should be located to the side or rear of the primary building.
- b. If the parking area is visible from a public street or adjacent to a residential use, it shall be screened in accordance with the Zoning Code.
- c. A direct pedestrian connection shall be provided between each parking area and the primary building entrance.
- d. For Commercial development, drive-through lanes, menu boards, and service windows shall be located to the side or rear of the principal building.

4. Pedestrian Connection Standards

- a. A continuous pedestrian walkway shall connect the public sidewalk to the primary entrance of each building.
- b. Pedestrian walkways that run parallel to a vehicle travel lane shall be separated by one of the following:
 - i. a curb
 - ii. landscape strip
 - iii. bollards
 - iv. a change in grade
 - v. or another physical barrier.
- c. Walkways crossing drive aisles shall use a paving material, scoring pattern, color, or surface treatment that contrasts with the adjoining vehicle surface.
- d. Pedestrian walkways shall have a width not less than five feet and not be obstructed by parking spaces, vehicle overhangs, loading activities, utility equipment, or outdoor displays.

- e. Pedestrian facilities shall comply with applicable accessibility requirements.

5. Open Space and Plaza Standards

- a. Required common or public open space shall connect to and be accessible from the site's pedestrian circulation system.
- b. Outdoor gathering areas shall include at least two of the following amenities: seating, shade, landscaping, paving with a material, color, or scoring pattern different from adjoining walkways, bicycle parking, or public art.
- c. For Multi-family development, play features and recreational amenities may count toward the two amenities required by this section.

6. Landscaping Standards

- a. Landscaping, including plant selection and water use, shall comply with Chapter 9 of the Zoning Code.

7. Loading and Service Area Standards

- a. Loading areas and service yards shall be located to the side or rear of the primary building.
- b. If visible from a public street or adjacent to a residential use, the area shall be screened.
- c. Loading and service areas shall not obstruct required parking, vehicle circulation, or pedestrian walkways.
- d. Walls and gates used to screen service areas shall use at least one color and one finish used on the principal building.

C. Building Design

These standards establish measurable requirements for entrances, glazing, blank walls, façade modulation, roof forms, exterior materials, and color.

1. Entrances and Customer-Facing Area Standards

- a. Each primary entrance shall include at least one of the following: a canopy, awning, portico, recessed entry, projection, or covered entrance feature.
- b. Primary entrances shall remain visible from the walkway serving the entrance.
- c. Each ground-floor tenant space with a street-facing façade shall provide an individual exterior entrance.

- d. Office and customer-facing portions of an industrial building shall include at least two of the following: storefront transparent windows or doors, a canopy or awning, a material or finish change, a wall-plane recess or projection, a roof-height change, or a sign integrated into the façade.

2. Transparency Standards

- a. Commercial and mixed-use buildings ground-floor street-facing façades shall provide transparent windows and doors along a minimum of:
 - i. 40% of the ground-floor façade between two feet and 10 feet above finished grade.
 - ii. Reflective, mirrored, or opaque glass shall not count toward transparency requirements.
 - iii. Dark-tinted glass with a visible light transmittance below 25 percent is prohibited on ground-floor street-facing façades.

3. Blank Building Wall Standards

- a. Street-facing façades shall incorporate at least one of the following at intervals not exceeding 20 linear feet:
 - i. Windows;
 - ii. Doors;
 - iii. Pilasters;
 - iv. Recesses or projections with a minimum depth of six inches;
 - v. Awnings or canopies;
 - vi. Material changes;
 - vii. Public art;
 - viii. Trellises or architectural shading elements.

4. Building Massing Standards

- a. Horizontal Articulation. Buildings exceeding 50 feet in façade length shall incorporate façade modulation at intervals not exceeding 30 feet through at least one of the following:
 - i. Recesses;
 - ii. Projections;
 - iii. Material changes;
 - iv. Vertical architectural elements;

- v. Storefront bays;
- vi. Covered entrances.
- b. Upper Story Step-backs. Buildings exceeding two stories shall provide an upper-story setback of at least 6 feet for portions of the building above the second story along street-facing façades.

5. Roof Design Standards

- a. Flat roofs visible from a public street shall incorporate at least one of the following:
 - i. Parapets;
 - ii. Cornice treatments;
 - iii. Variations in roof height;
 - iv. Decorative roof forms.
- b. Bright galvanized metal roofing visible from public streets is prohibited.

6. Exterior Material Standards

- a. Permitted Primary Materials. Primary exterior materials visible from public streets shall consist of one or more of the following:
 - i. Brick;
 - ii. Stone;
 - iii. Integrally colored split-face block;
 - iv. Stucco;
 - v. Fiber cement siding;
 - vi. Wood siding;
 - vii. Metal panels with matte or non-reflective finishes.
- b. Prohibited Materials. The following materials are prohibited as primary façade materials on street-facing elevations:
 - i. Mirrored glass;
 - ii. Highly reflective metal panels;
 - iii. Untextured EIFS at ground-floor pedestrian levels;
 - iv. Corrugated metal siding in Downtown districts;

- v. Vinyl siding.

7. Color Standards

- a. Exterior colors visible from public streets shall utilize low-reflectance finishes. Neon, fluorescent, or highly reflective paint colors are prohibited except as:
 - i. approved sign elements; or
 - ii. public art installations.
- b. Large wall areas shall utilize colors with a Light Reflectance Value (LRV) between 15 and 60.
- c. Accent colors may exceed the permitted LRV range when comprising less than 15% of a façade elevation.

D. Site Elements

These standards establish location, screening, access, material, and clearance requirements for accessory site features where those features are required or provided.

1. Mechanical Equipment and Utilities Standards

- a. Ground-mounted mechanical and utility equipment visible from a public street or adjacent to a residential use shall be screened using:
 - i. walls;
 - ii. landscaping;
 - iii. fencing; or
 - iv. integrated architectural screening;
 - v. that uses at least one exterior material or finish and one color used on the principal building.
- b. Roof-mounted solar equipment shall extend no more than 18 inches above the roof plane unless otherwise required by building code or manufacturer specifications.
- c. Rooftop mechanical or utility equipment visible from a public street shall be screened by a parapet or enclosure that uses a material and color used on the principal building.

2. Trash Enclosure Standards

- a. Trash Enclosures shall comply with Section 4-230 of Chapter 4 of the Zoning Code.

- b. Trash enclosure walls shall use at least one exterior material and one color used on the principal building.
- c. Collection areas shall be accessible to service vehicles without obstructing required parking or circulation.

3. Lighting Standards

- a. Exterior lighting, including fixture shielding and light direction, shall comply with Chapter 8, Outdoor Lighting, of the Zoning Code.
- b. Architectural and pedestrian lighting shall be located outside required accessible routes.

4. Public Art Standards

- a. Public art, when provided, shall be permanently installed and constructed of materials rated or protected for exterior installation.
- b. Public art shall not obstruct pedestrian walkways, accessible routes, required sight visibility, or utility access.

5. Street Furniture Standards

- a. Street furniture shall consist of materials rated by the manufacturer for exterior use.
- b. Benches, bicycle racks, trash receptacles, and similar amenities shall be located outside required accessible routes.
- c. Street furniture provided within a development shall use the same material, color, or manufacturer product family.
- d. Pedestrian amenities shall not obstruct visibility at intersections, driveways, or pedestrian crossings.

Appendix A. Definitions

Architectural Articulation. A change in wall plane, material, roof form, or opening pattern that interrupts a continuous surface.

Blank Wall. A building wall or solid fence without windows, material changes, projections, recesses, planters, public art, or other articulation features listed in these standards.

Building Massing. The overall three-dimensional size and form of a building.

façade. An exterior face of a building.

Light Reflectance Value (LRV). A scale from 0 to 100 indicating the percentage of visible light reflected by a surface, where 0 represents black and 100 represents white.

Primary Entrance. The principal entrance intended for customer, visitor, employee, or resident access.

Screening. A wall, opaque fence, landscaping, enclosure, or parapet used to reduce the visibility of equipment, storage, or service areas.

Street-Facing façade. A building façade that faces or is visible from an adjoining public street.

Transparency. The percentage of a building façade composed of clear, non-reflective glazing that permits views into occupied interior spaces.

Appendix B. Illustrative Design Examples

Building Orientation

Meets Standard	Needs Improvement
	
Primary entrance oriented toward the street with a defined pedestrian connection.	Main entrance faces parking without a direct pedestrian connection.

Parking Location

Meets Standard	Needs Improvement
	
Parking located beside or behind the building.	Parking is located between the building and the street.

Blank Walls

Meets Standard	Needs Improvement
	
Windows, material changes, projections, landscaping, or public art interrupt the wall.	A street-facing wall exceeds 20 feet without articulation.

Mechanical Equipment

Meets Standard	Needs Improvement
	
Rooftop equipment is screened.	Equipment is visible from public streets.

Trash Enclosures

Meets Standard	Needs Improvement
	
Enclosure uses a material/finish found on the principal building.	Dumpsters or chain-link enclosures are visible from a public street.

Prototype Architecture

Meets Standard	Needs Improvement
	
Incorporates features required.	Does not meet the applicable standards.

Blank Fences

Meets Standard	Needs Improvement
	
Material changes, columns, offsets, planters, or public art interrupt the fence.	A street-facing fence exceeds 20 feet without articulation.



BUILDING ORIENTATION



INTENT:

Building orientation strengthens walkability and creates active, engaging streets by ensuring primary entrances are visible, welcoming, and directly connected to the public realm.



Buildings shall orient primary pedestrian entrances toward the street and remain visible and unobstructed from adjacent sidewalks or pathways.

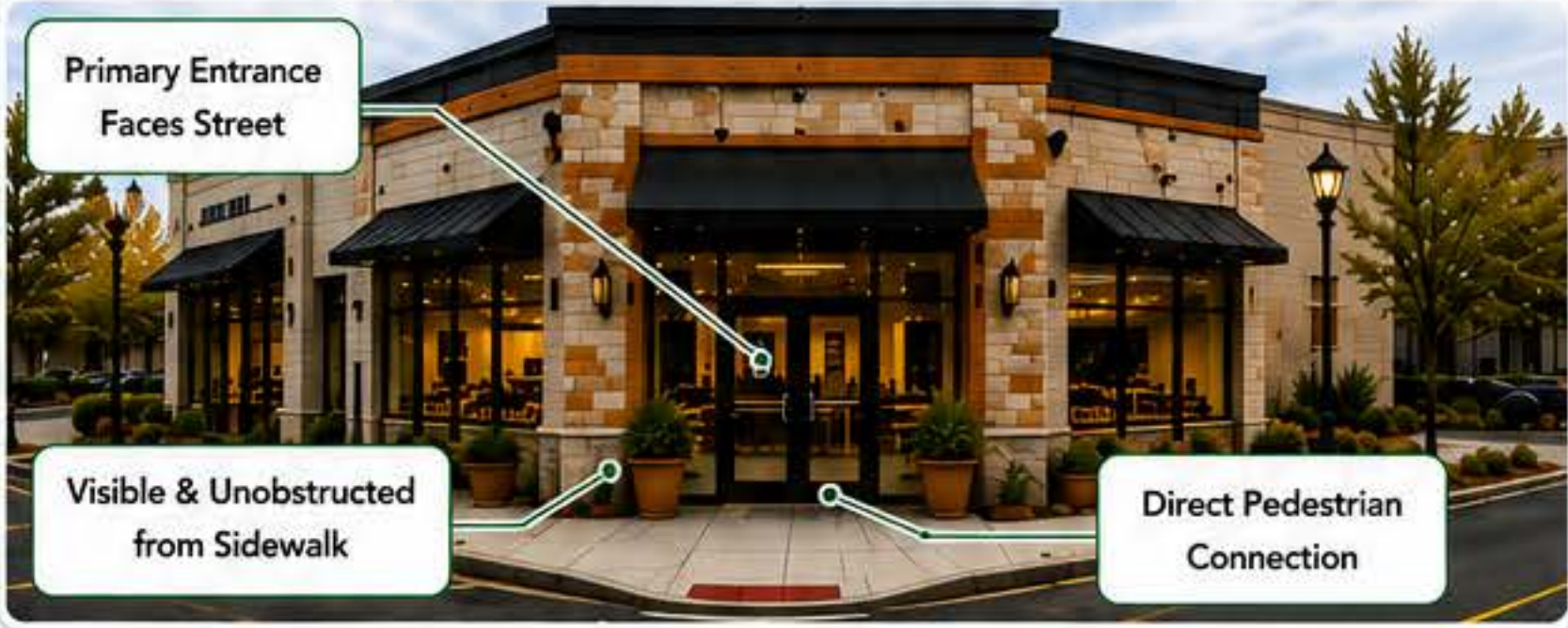
STANDARDS:

- Buildings located on a public street shall provide at least one primary pedestrian entrance facing the street.
- Primary entrances shall remain visible and unobstructed from adjacent sidewalks or pedestrian pathways.



COMPLIES

Primary entrance faces the street and is clearly visible.



DOES NOT COMPLY

Entrance not visible from the street.



CORNER LOT ORIENTATION

For buildings on corner lots, orient the primary entrance toward either:

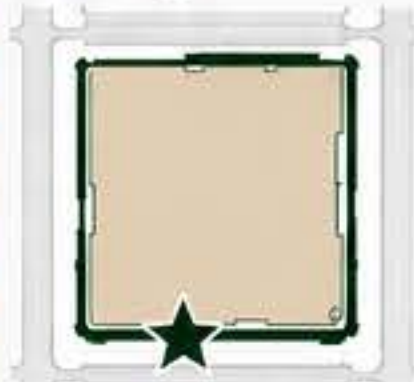
COMPLIES

The Street Corner



COMPLIES

The Street with Greatest Frontage



GOOD PRACTICE HIGHLIGHTS



Orient entrances toward the street to activate the public realm.



Ensure a clear, direct connection from the sidewalk to the entrance.



Keep entrances visible and unobstructed at all times.



Welcoming entrances enhance safety, comfort, and community character.



Well-oriented buildings with visible entrances create vibrant streets and welcoming places.





GROUND FLOOR TRANSPARENCY



INTENT:

Transparent storefronts create active, engaging streetscapes by connecting inside and outside spaces, supporting local businesses, and improving pedestrian safety and visibility.

STANDARDS:

- Ground-floor street-facing facades within Downtown and commercial districts shall provide transparent windows and doors along a minimum of 40% of the ground-floor facade between 2 feet and 10 feet above finished grade.
- Reflective, mirrored, or opaque glass shall not count toward transparency requirements.
- Dark-tinted glass with a visible light transmittance below 25% is prohibited on ground-floor street-facing facades.



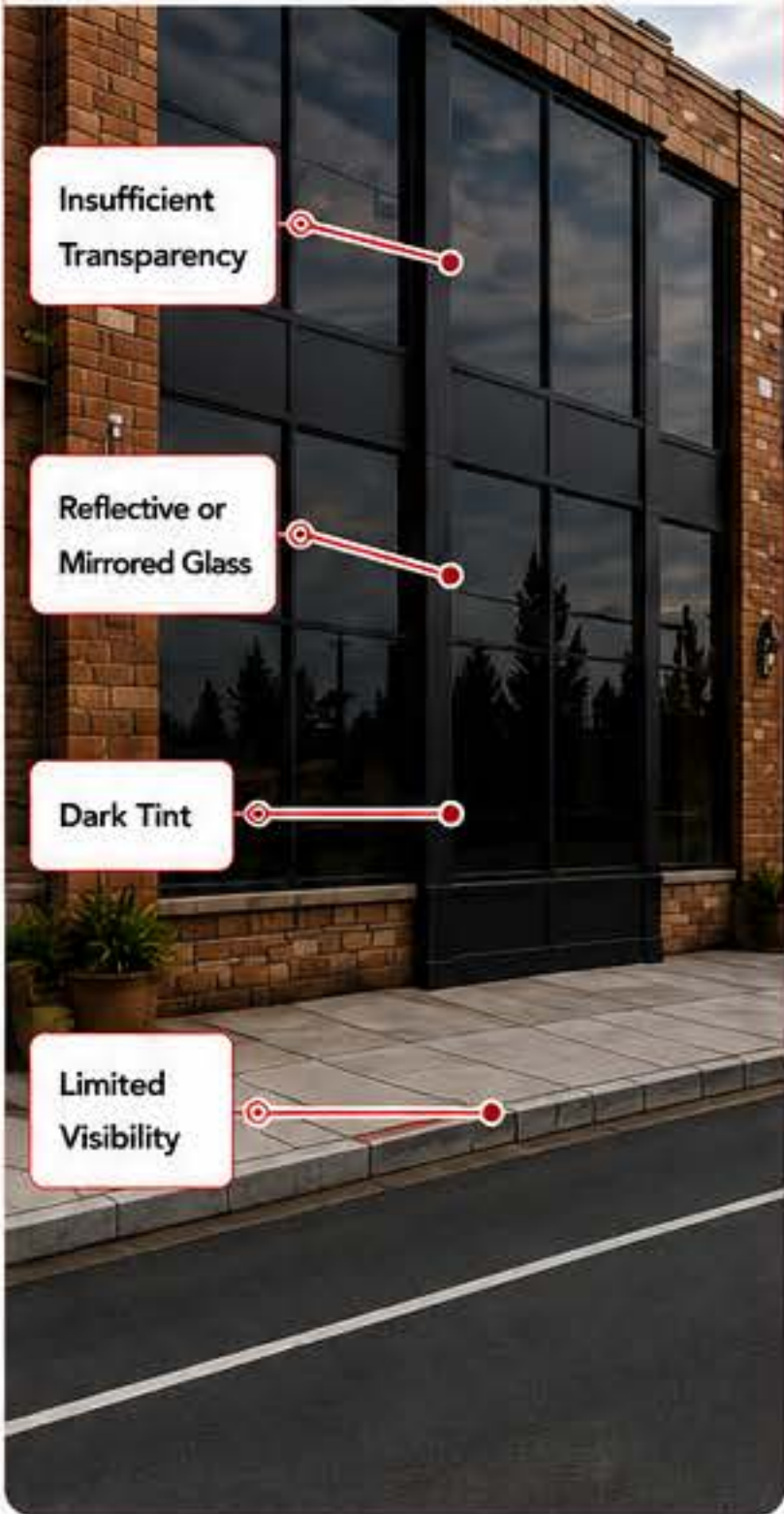
COMPLIES

Provides at least 40% transparency between 2 feet and 10 feet above finished grade.



DOES NOT COMPLY

Provides less than 40% transparency or uses prohibited glazing.



40% TRANSPARENCY REQUIREMENT



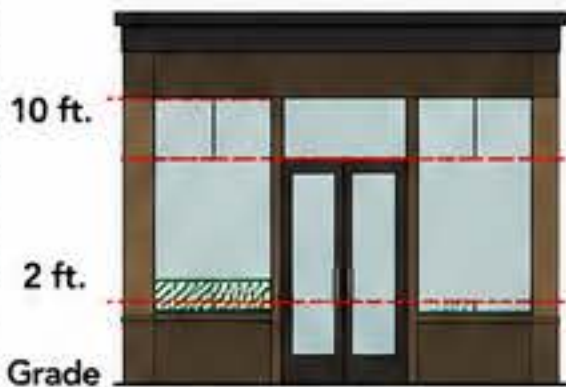
COMPLIES

40% or more transparent area between 2' and 10'.



DOES NOT COMPLY

Less than 40% transparent area.



 Transparency measured between 2 ft. and 10 ft. above finished grade.

PROHIBITED GLASS



Reflective Glass

Does not count toward transparency.



Mirrored Glass

Does not count toward transparency.



Opaque Glass

Does not count toward transparency.



Dark-Tinted Glass

(VLT below 25%)
Prohibited.

Examples above are not permitted on ground-floor street-facing facades.



GOOD PRACTICE HIGHLIGHTS



Activate storefronts and create a welcoming street experience.



Improve visibility for pedestrians and enhance public safety.



Strengthen the pedestrian experience and encourage activity.



Support vibrant commercial districts and local businesses.



Transparent storefronts strengthen commercial districts, support local businesses, and create engaging pedestrian environments.





BLANK WALL LIMITATIONS



INTENT:

Blank wall limitations help create visually interesting, pedestrian-friendly streetscapes by breaking up large uninterrupted wall surfaces with architectural features, windows, entrances, and other design elements that add visual interest and human scale.



STANDARDS:

Street-facing facades shall not contain uninterrupted blank wall areas exceeding 20 linear feet.

Blank wall areas shall be interrupted by one or more of the following:

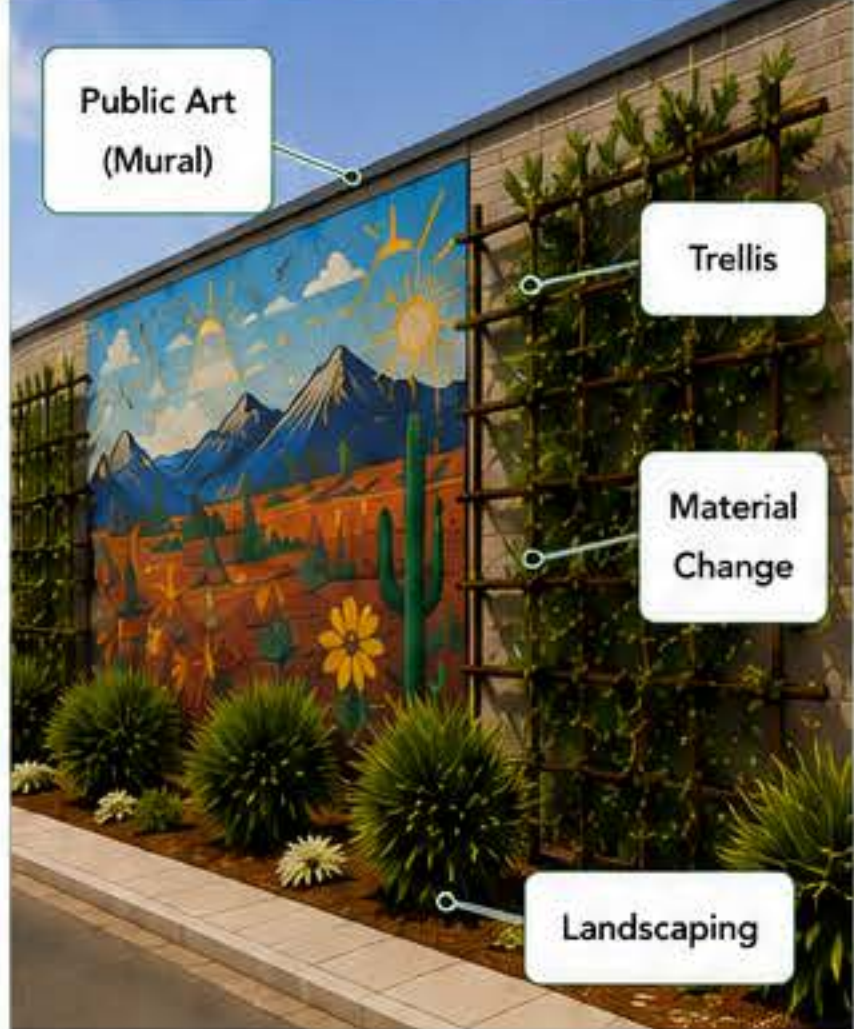
- Windows
- Doors
- Pilasters
- Recesses or projections (minimum 6-inch depth)
- Awnings or canopies
- Material changes
- Public art
- Trellises or architectural shading elements

✓ COMPLIES – STOREFRONT ARTICULATION



Architectural features interrupt blank wall segments and create an active pedestrian environment.

✓ COMPLIES – PUBLIC ART & ARCHITECTURAL SCREENING



Public art and architectural elements provide visual interest and reduce the appearance of long wall segments.

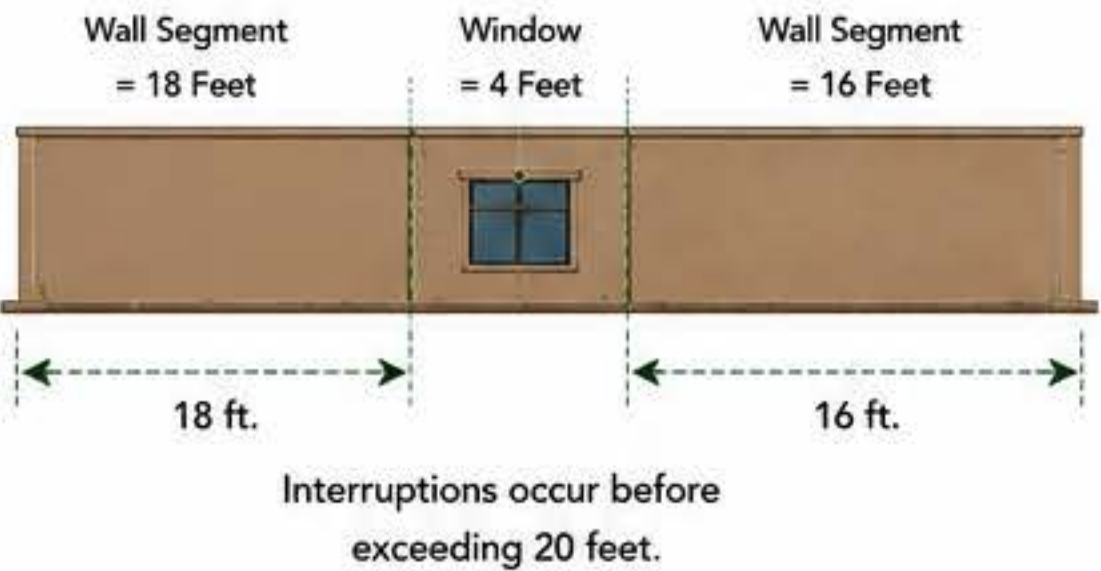
✗ DOES NOT COMPLY



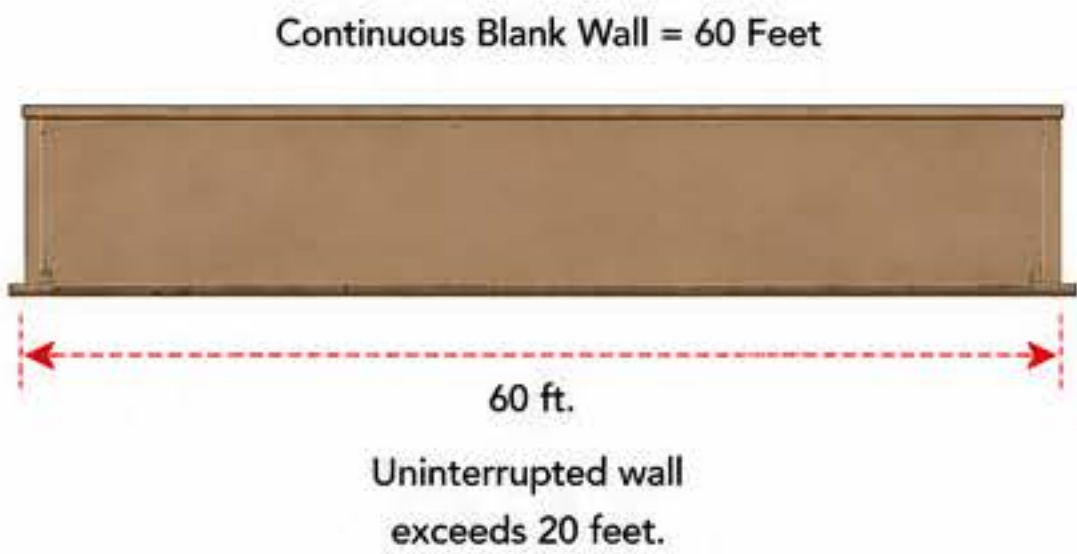
Long uninterrupted wall segments create inactive streetscapes and exceed the maximum blank wall length.

20-FOOT MAXIMUM WALL LENGTH

✓ COMPLIES



✗ DOES NOT COMPLY



Architectural features, entrances, windows, and material changes help reduce blank wall impacts and create pedestrian-friendly streetscapes.





BLANK FENCE INTERRUPTIONS



INTENT:

Blank fence standards also apply to fences and walls visible from public streets. Visual breaks improve appearance, pedestrian comfort, and overall site design.



NOTE:

Visual interruptions should occur at regular intervals to reduce the appearance of long uninterrupted fence segments.

EXAMPLES OF FEATURES THAT INTERRUPT BLANK FENCES



Pilasters

Vertical elements add rhythm and break up lengthy fence runs.



Recesses or Projections

Recessed or projecting sections create shadow and visual interest.



Material Changes

Changes in color, texture, or material help break monotony.



Public Art

Artwork adds character and creates a sense of place.



Trellises or Shading Elements

Trellises and shading elements soften the fence and add depth.



COMPLIANT FENCE

Pilasters

Material Change

Public Art

Landscaping



Fence Segments Are All Less Than 20 Feet



ACCEPTABLE INTERRUPTIONS:

- ✓ Pilasters
- ✓ Recesses or Projections (min. 6" depth)
- ✓ Material Changes
- ✓ Public Art
- ✓ Trellises or Shading Elements
- ✓ Landscaping



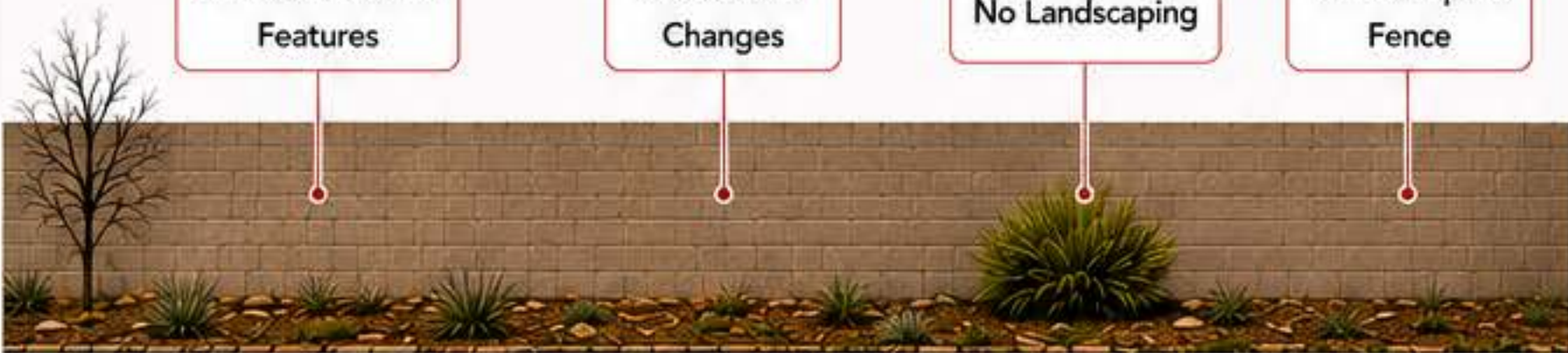
NON-COMPLIANT FENCE

No Architectural Features

No Material Changes

No Landscaping

Uninterrupted Fence



Fence Length = 60 Feet (Exceeds 20 Feet)

AVOID:

- ✗ Long uninterrupted fence segments
- ✗ Monotonous facades
- ✗ Large blank surfaces
- ✗ Featureless fences and walls



BUILDING MASSING & ARTICULATION

- Building facades exceeding 40 feet in length shall incorporate articulation and massing techniques to create visual interest.
- Articulation techniques may include at least three of the following:
 - Wall plane offsets or projections
 - Change in materials
 - Variations in roof height or form
 - Architectural details or trim
 - Windows or door openings



INTENT:

Well-proportioned buildings with articulated facades reduce bulk and monotony, create a comfortable pedestrian experience, and reduce perceived mass.



NOTE:

Articulation should be integral to the building design and consistent around all visible sides of the structure.



QUICK REFERENCE

- ✓ Facade > 40 ft. in length requires articulation.
- ✓ Use at least 3 articulation techniques.
- ✓ Break up long facades.
- ✓ Incorporate material changes.
- ✓ Provide architectural details and visual interest.



COMPLIES – ARTICULATED FACADE



Multiple articulation techniques create visual interest and reduce perceived mass.



DOES NOT COMPLY – MONOTONOUS FACADE



Large, unarticulated facades create a bulky appearance and are not permitted.



Thoughtful massing and articulation create visually interesting buildings, enhance the pedestrian experience, and strengthen Clarkdale's character.



ROOF FORMS

- Flat roofs visible from a public street shall incorporate one or more of the following:
 - Parapets
 - Cornice treatments
 - Variations in roof height
 - Decorative roof forms
- Rooftop mechanical equipment shall be screened from public streets using parapets or architecturally integrated screening materials.
- Bright galvanized metal roofing visible from public streets is prohibited.



INTENT:

Roof forms contribute significantly to a building’s architectural character and help create visually interesting rooflines that complement Clarkdale’s historic and commercial districts. Proper screening of rooftop equipment preserves the appearance of buildings from public streets.



NOTE:

Rooftop mechanical equipment should be incorporated into the overall building design and screened in a manner that complements the building’s architecture.



COMPLIES

Parapet and Cornice



Parapets and cornice treatments add definition and screen rooftop equipment.



COMPLIES

Roof Height Variation



Variations in roof height create visual interest and reduce building mass.



COMPLIES

Decorative Roof Form



Decorative roof forms enhance architectural character and the roof silhouette.

ACCEPTABLE ROOF ELEMENTS

Parapet



Cornice



Roof Height Variation



Decorative Roof Form



Architectural Screening



Use one or more of these elements on flat roofs visible from public streets.



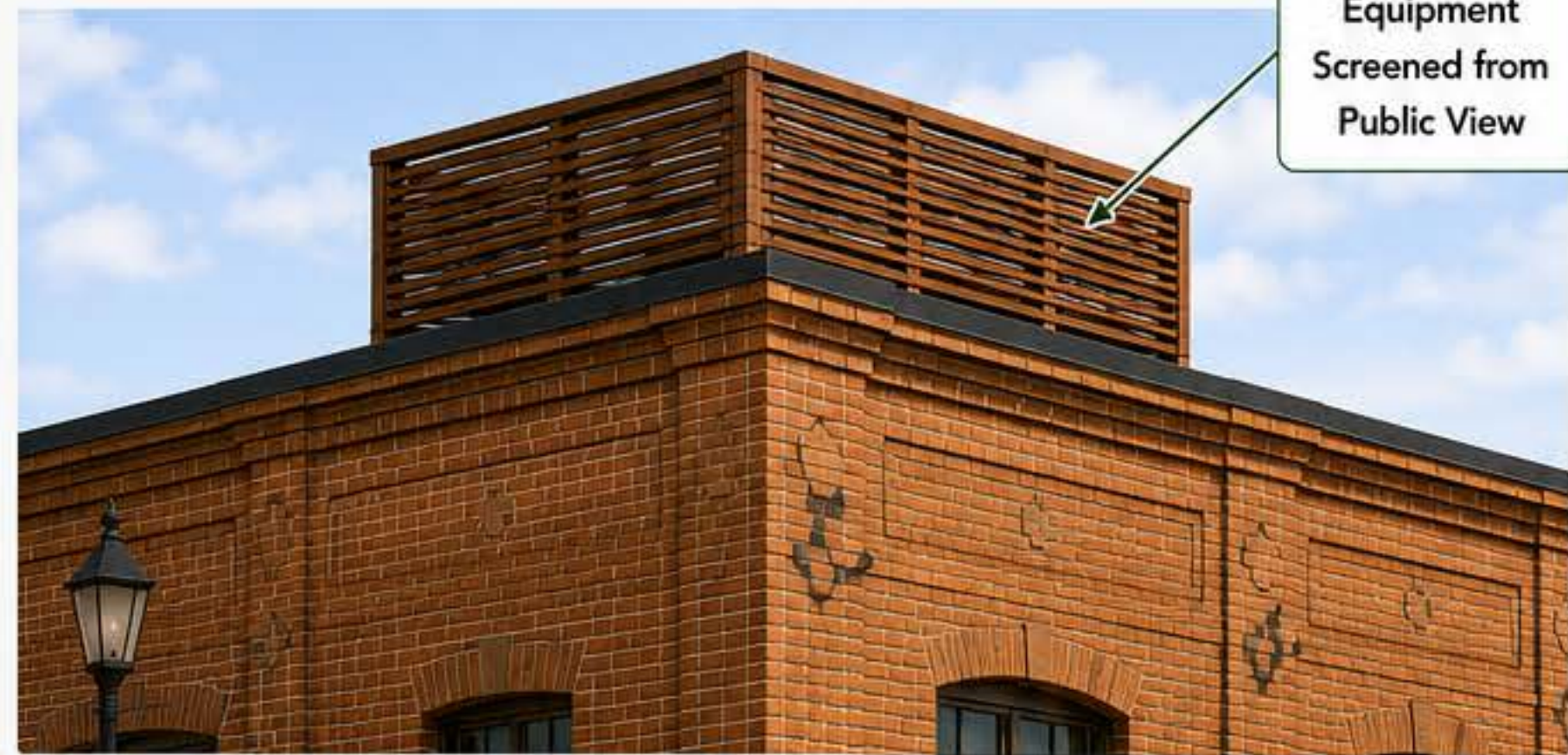
Thoughtful roof design enhances building character, respects Clarkdale’s historic context, and creates a more attractive streetscape for our community.





COMPLIES

Screened Mechanical Equipment



Screened rooftop equipment preserves the building's architectural character and maintains a clean skyline.



DOES NOT COMPLY

Visible Mechanical Equipment



Rooftop mechanical equipment must be screened from public streets.

SCREENING OF ROOFTOP EQUIPMENT



COMPLIANT

Equipment is screened by parapet or architecturally integrated materials.

Equipment not visible from street



Screening height must be equal to or greater than the height of the rooftop equipment.

ACCEPTABLE SCREENING METHODS

Parapet Wall



Architectural Screen



Louvered Screen



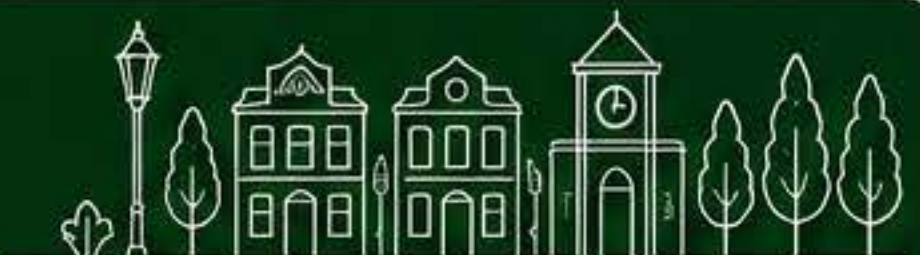
Solid Screen with Architectural Detailing



Use materials and detailing that are compatible with the building's architecture.



Thoughtful roof design and appropriate screening preserve architectural character and support a clean, attractive skyline for Clarkdale.





EXTERIOR MATERIALS

- Primary exterior materials visible from public streets shall consist of one or more of the following:
 - Brick
 - Stone
 - Integrally colored split-face block
 - Stucco
 - Fiber cement siding
 - Wood siding
 - Metal panels with matte or non-reflective finishes
- The following materials are prohibited as primary facade materials on street-facing elevations:
 - Mirrored glass
 - Highly reflective metal panels
 - Untextured EIFS at ground-floor pedestrian levels
 - Corrugated metal siding in Downtown districts
 - Vinyl siding



INTENT:

Exterior materials play a significant role in defining and building character. Durable, high-quality materials contribute to Clarkdale’s historic character and create visually appealing streetscapes.



NOTE:

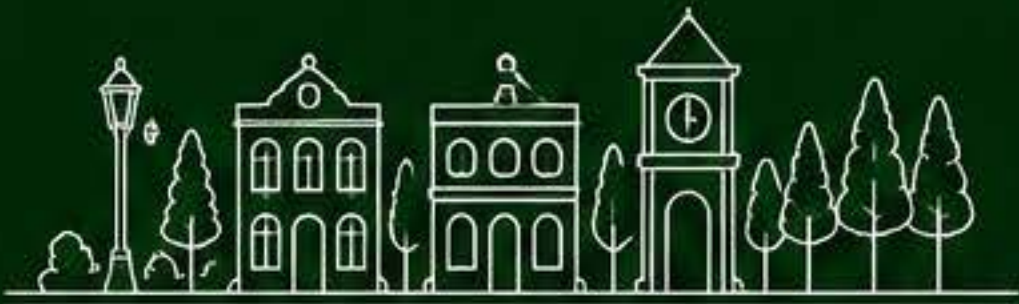
Combining compatible materials, textures, and colors can help create visual interest, reinforce architectural character, and reduce the appearance of large building masses.

 PERMITTED PRIMARY MATERIALS (One or more of the following)

BRICK	STONE	INTEGRALLY COLORED SPLIT-FACE BLOCK	STUCCO	FIBER CEMENT SIDING	WOOD SIDING	METAL PANELS (MATTE FINISH)
						
						
• Durable • Historic Character • Appropriate Downtown Material	• Natural Material • High Quality • Appearance	• Integrally Colored • Textured Surface • Durable	• Appropriate Desert Material • Textured Finish	• Durable • Traditional Appearance • Low Maintenance	• Historic Character • Natural Material • Warm Appearance	• Non-Reflective Finish • Contemporary Application • Durable



Quality exterior materials create enduring buildings, enhance Clarkdale’s character, and support attractive, vibrant streetscapes.



COMPLIANT MATERIAL PALETTE EXAMPLE



PROHIBITED MATERIALS (As primary facade materials)

MIRRORED GLASS



- Reflective Surface
- Creates Glare
- Does Not Support Pedestrian Interaction

HIGHLY REFLECTIVE METAL PANELS



- Excessive Reflectivity
- Incompatible With Historic Character
- Creates Glare

UNTEXTURED EIFS AT GROUND LEVEL



- Flat Appearance
- Lacks Material Depth
- Not Appropriate at Pedestrian Level

CORRUGATED METAL SIDING (DOWNTOWN)



- Not Appropriate as Primary Facade Material in
- Downtown Districts

VINYL SIDING



- Low Durability
- Inconsistent With Desired Character
- Not Permitted



COLOR STANDARDS & LRV REQUIREMENTS



INTENT:

Exterior colors contribute significantly to community character. Appropriate color palettes help create visually appealing development while maintaining compatibility with surrounding buildings and the natural environment.



NOTE:

Large wall areas should utilize colors with a Light Reflectance Value (LRV) between 15 and 60.

LIGHT REFLECTANCE VALUE (LRV) SCALE



STANDARDS:

- Exterior colors visible from public streets shall utilize low-reflectance finishes.
- Large wall areas shall utilize colors with an LRV between 15 and 60.
- Accent colors may exceed the permitted LRV range when comprising less than 15 percent of a facade elevation.

ACCEPTABLE FOR LARGE WALL AREAS (15–60 LRV)

LRV 15
Dark Bronze



LRV 30
Desert Tan



LRV 45
Warm Beige



LRV 60
Light Sandstone



NOT ACCEPTABLE FOR LARGE WALL AREAS

LRV 5
Black



LRV 85
Bright White



COMPLIANT COLOR PALETTE EXAMPLE



Primary Wall Color
LRV = 35

Secondary
Material Color
LRV = 25

Accent Area
Less Than 15%



Appropriate color palettes help create attractive development and reinforce community character.



COLOR EXAMPLES & PROHIBITED COLORS



INTENT:

Color standards encourage high-quality building design while allowing flexibility and creativity through appropriate accent colors and public art.



NOTE:

Public art installations are exempt from color restrictions.



ACCENT COLOR EXAMPLE



Wall Color
(LRV 40)
Desert Tan

Trim Color
(LRV 12)
Deep Green

Accent Door
(LRV 70)
Brick Red

Accent colors may be used for doors, trim, awnings, and other elements when less than 15% of the facade.



PUBLIC ART EXCEPTION



Public Art
Exempt from
Color
Restrictions

Murals and art installations add vibrancy and celebrate Clarkdale's culture and heritage.



PROHIBITED COLORS & FINISHES



Neon Green
(Prohibited)



Neon Pink
(Prohibited)



Fluorescent Orange
(Prohibited)



Reflective Metallic
Finish (Prohibited)



APPROPRIATE COMMUNITY PALETTE (Examples)



Desert Tan
(LRV 35)



Warm Beige
(LRV 45)



Adobe Brown
(LRV 25)



Soft Sage
(LRV 30)



Terra Cotta
(LRV 28)



Brick Red
(LRV 18)



Copper Bronze
(LRV 20)



Sandstone
(LRV 50)



Thoughtful color selection contributes to attractive development and enhances the visual character of the community.



MECHANICAL EQUIPMENT & UTILITIES

GROUND-MOUNTED EQUIPMENT SCREENING



INTENT:

Mechanical equipment, utility infrastructure, and service areas can negatively impact streetscape appearance when visible from public streets. Appropriate screening helps conceal equipment, improve visual character, and maintain attractive pedestrian environments.



STANDARDS:

Ground-mounted mechanical equipment visible from a public street shall be screened using one or more of the following:

- ✓ Walls
- ✓ Landscaping
- ✓ Fencing
- ✓ Integrated Architectural Screening

✓ COMPLIES – LANDSCAPE SCREENING



Landscaping can effectively screen equipment while contributing to the overall site design.

✓ COMPLIES – ARCHITECTURAL SCREENING



Architecturally integrated screening blends equipment into the building design.

✗ DOES NOT COMPLY



Unscreened equipment creates unnecessary visual impacts and detracts from streetscape character.

✓ ACCEPTABLE – EQUIPMENT SCREENED FROM PUBLIC VIEW



✗ DOES NOT COMPLY – EQUIPMENT VISIBLE FROM PUBLIC STREET



ACCEPTABLE SCREENING METHODS



LANDSCAPING



Native and drought-tolerant planting used to soften and conceal equipment.



MASONRY WALL



Durable wall screening compatible with surrounding architecture.



DECORATIVE FENCING



Decorative fencing designed to screen equipment while maintaining site aesthetics.



INTEGRATED ARCHITECTURAL ENCLOSURE



Materials and detailing match the primary building.

GOOD PRACTICE HIGHLIGHTS



Incorporate landscape screening



Integrate screening into building design



Reduce visual clutter



Improve pedestrian experience



Maintain community character



Thoughtful screening of mechanical equipment helps create attractive streetscapes while protecting the visual character of the community.





MECHANICAL EQUIPMENT & UTILITIES

UTILITY BOXES & ROOF-MOUNTED SOLAR EQUIPMENT

INTENT:

Utility infrastructure and solar equipment should be integrated into site and building design in a manner that minimizes visual impacts from public streets. Appropriate colors and installation methods help maintain attractive streetscapes while supporting modern utility and sustainability needs.

STANDARDS:

UTILITY BOXES

Utility boxes located along street frontages shall utilize:

- ✔ Muted Colors
- ✔ Earth-Tone Colors

ROOF-MOUNTED SOLAR EQUIPMENT

Roof-mounted solar equipment shall:

- ✔ Be mounted parallel to the roof plane
- ✔ Extend no more than 18 inches above the roof plane
- ✔ Comply with building code and manufacturer requirements

COMPLIES – EARTH-TONE UTILITY BOXES

Earth-Tone Finish

Compatible Color

Reduced Visual Impact

Streetscape Compatible

Muted colors help utility infrastructure blend into the surrounding environment.

COMPLIES – LOW-PROFILE SOLAR INSTALLATION

Parallel Mounting

Low-Profile Installation

Less Than 18 Inches

Minimal Visual Impact

Low-profile solar installations reduce visibility from public streets.

DOES NOT COMPLY

UTILITY BOX

Bright Color

High Visibility

Visual Distraction

SOLAR INSTALLATION

Elevated Panels

Exceeds 18 Inches

Excessive Visual Impact

Bright utility colors and elevated solar arrays create unnecessary visual impacts.

ACCEPTABLE APPLICATIONS

EARTH-TONE UTILITY BOX



Blends into the landscape.

UTILITY EQUIPMENT ADJACENT TO LANDSCAPING



Reduces visual prominence.

LOW-PROFILE SOLAR PANELS



Mounted parallel to roof slope.

INTEGRATED SOLAR DESIGN



Maintains building character while supporting renewable energy.



Thoughtful utility colors and low-profile solar installations help support sustainability while preserving community character.





PEDESTRIAN ELEMENTS

Continuous Pedestrian Connections



INTENT:

Pedestrian access should be safe, direct, and clearly connected between public sidewalks and building entrances.



DIRECT SIDEWALK CONNECTION



Clearly defined pedestrian routes improve accessibility and site navigation.



SAFE ACCESS



Walkways should provide a continuous route from the public sidewalk to the entrance.



CONNECTED DESIGN



Pedestrian circulation should be integrated into overall site design.



STANDARD:

Commercial developments shall provide a continuous pedestrian connection from public sidewalks to primary building entrances.



COMPLIES



WHY IT COMPLIES:

- Continuous pedestrian route provided
- Direct connection to primary entrance
- Safe and visible access for pedestrians



DOES NOT COMPLY



WHY IT DOES NOT COMPLY:

- No continuous pedestrian connection
- Pedestrian route interrupted by vehicles
- Building entrance lacks direct sidewalk access



GOOD PEDESTRIAN DESIGN

Provide clearly visible, direct, and accessible walkways that connect public sidewalks to primary building entrances and minimize conflicts with vehicles.



Well-connected pedestrian environments create safe, inviting, and vibrant commercial areas.





PEDESTRIAN ELEMENTS

Continuous Pedestrian Connections

Pedestrian walkways crossing vehicle circulation areas shall be distinguished through at least one of the following:

i. DECORATIVE PAVING



Use decorative paving materials to visually distinguish pedestrian crossings.

ii. STAMPED CONCRETE



Use stamped concrete to add texture and visually distinguish crossings.

iii. COLORED CONCRETE



Use colored concrete to differentiate pedestrian crossings.

iv. RAISED CROSSINGS



Use raised crossings to slow traffic and enhance pedestrian safety.

Sidewalk dining, benches, bicycle racks, and pedestrian amenities shall maintain a minimum unobstructed pedestrian path of five feet.



Well-designed pedestrian elements create safe, accessible, and inviting environments for everyone.

