



**NOTICE OF A REGULAR MEETING OF THE HISTORIC PRESERVATION COMMISSION
OF THE TOWN OF CLARKDALE
TUESDAY, DECEMBER 5, 2023 AT 6:30 PM**

In Person: Clark Memorial Clubhouse, 19 N. Ninth St., Clarkdale AZ

OR

Join Zoom Meeting

<https://zoom.us/j/9554994085>

Meeting ID: 955 499 4085

Unless otherwise stated, the public will have physical access to the meeting place 15 minutes prior to the start of the meeting.

Town of Clarkdale Vision

The Town of Clarkdale connects our unique history, proximity to the Verde River, and small-town charm to a future with a vibrant economy.

We cultivate an environment where residents and businesses can thrive; providing services and jobs for our residents and capitalizing upon tourism.

We sustainably enhance our infrastructure, support the arts and education, and develop recreational opportunities to create a bright future for our entire community.

PURSUANT TO A.R.S. §38-431.02, NOTICE IS HEREBY GIVEN that the Historic Preservation Commission will hold a Regular Meeting open to the public on Tuesday, December 5, 2023, at 6:30 PM at 19 N. Ninth Street, Clarkdale, Arizona, Clark Memorial Clubhouse, Men's Lounge. A quorum of Town Council members may be present at this meeting; however, they will not deliberate or take action on any items. All members of the public are welcome to attend.

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR DISCUSSION AND POSSIBLE ACTION, UNLESS OTHERWISE NOTED.

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

The Historic Preservation Commission invites the public to provide comments at this time. Members of the Historic Preservation Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to A.R.S. §38-431.01, action taken as a result of public comment will be limited to directing staff to study the matter, responding to any criticism, or scheduling the matter for further consideration and decision at a later date. Persons interested in

making comments on a specific agenda item are asked to complete a brief form and submit it to the Clerk or liaison during the meeting. Each speaker is asked to limit their comments to five minutes.

4. MINUTES

A. Approval of Minutes

Discuss, consider and act upon the draft minutes from the regular meeting held on Nov. 7, 2023.

5. NEW BUSINESS

A. Historic Preservation Ordinance

Discuss, consider and act upon the final draft of the Historic Preservation Ordinance and initiate the Zoning Ordinance text amendment process.

6. DISCUSSION ITEMS ONLY - NO ACTION TAKEN

A. Bandstand Update

Discussion only regarding an update on the bandstand/gazebo in Town Park.

7. FUTURE AGENDA ITEMS

Historic Preservation Commission may propose items to be placed on a future agenda. This item is for discussion only.

8. ADJOURNMENT

Values

Values are the guiding principles that provide an organization with purpose and direction. The Town of Clarkdale's organizational values are:

COPPER

Customer focused

Open, transparent and equitable

Preserving our history, charm, and environment

Planning for a sustainable future

Economic and social resiliency

Resourceful and innovative

Mission

The Town of Clarkdale serves the community by providing amenities, infrastructure, services, and public safety to enhance quality of life. We are stewards of our history while we sustainably and resiliently plan for the future with an emphasis on community engagement and transparency.

Persons with a disability may request reasonable accommodations by contacting the Town Hall at (928) 639-2400 (TTY: 1-800-367-8939) at least 72 hours in advance of the meeting.



**SUMMARIZED MINUTES OF A REGULAR MEETING OF THE
HISTORIC PRESERVATION COMMISSION
OF THE TOWN OF CLARKDALE
TUESDAY, NOVEMBER 7, 2023 AT 6:30 PM**

(To watch the full video of the meeting, please visit www.clarkdale.az.gov – agendas & minutes)

Members Present: *Chair Terry Gibson, Vice Chair Guebard, Commissioner Amy Stein, Commissioner Michael Lindner, and Commissioner Dan Biggins*

Members Absent: *None*

Other Municipal Officials Present: *Community Development Director Ruth Mayday, Senior Planner Tom Blanchard; Community Development Admin Guss Espolt*

Audience: *No members of the public were present.*

Zoom: *Two members of the public present.*

1. CALL TO ORDER - *Chair Gibson called the meeting to order at 6:30 p.m.*

2. ROLL CALL - *All commission members present.*

3. PUBLIC COMMENT
No public comment.

4. MINUTES

A. Approval of Minutes

Discuss, consider and act upon the draft minutes from the regular meeting held on Oct. 3, 2023.

Motion by Stein second by Lindner to: *Approve the draft minutes from the meeting held on Oct. 3, 2023, with a minor administrative revision.*

Approved: 5-0 Aye

Commissioner	Aye/Nay
Chair Gibson	Aye
Vice Chair Guebard	Aye
Commissioner Lindner	Aye

Commissioner Biggins	Aye
Commissioner Stein	Aye

5. DISCUSSION ITEMS ONLY – NO ACTION TAKEN

A. Historic Preservation Ordinance

Assistant Town Manager Ruth Mayday provided an update on the Historic Preservation Ordinance, which included text revisions, additional graphics and a PowerPoint presentation.

B. Bandstand/Gazebo

Assistant Town Manager Ruth Mayday provided an update on the bandstand/gazebo: SHPO is conducting a voluntary consultation of the proposed renovation.

6. FUTURE AGENDA ITEMS

- a. Historic Preservation Ordinance update.*
- b. Bandstand update*
- c. Bitter Creek Bridge*
- d. Broadway sidewalks*

7. ADJOURNMENT

Motion by Gibson, second by Stein to: *adjourn the meeting at 8:19 p.m.*

Approved: 5-0 Aye

Commissioner	Aye/Nay
Chair Gibson	Aye
Vice Chair Guebard	Aye
Commissioner Lindner	Aye
Commissioner Biggins	Aye
Commissioner Stein	Aye

Chairperson Terry Gibson
Historic Preservation Commission

Assistant Town Manager Ruth Mayday



Staff Report

Item Number: 5.A.

Agenda Item: **Historic Preservation Ordinance**
Discuss, consider and act upon the final draft of the Historic Preservation Ordinance and initiate the Zoning Ordinance text amendment process.

Staff Contact: Ruth Mayday, Community Development Director

Meeting Date: December 5, 2023

Strategic Goal: This agenda item supports the following Clarkdale Strategic Goal Area:

- Goal Area 1 - Preserve and celebrate Clarkdale's unique, complex history.

Background: Staff and the Historic Preservation Commission (HPC) have been working diligently to refine a final draft for the Historic Preservation Ordinance (HPO). The attached iteration incorporates the changes suggested at the Nov. 7, 2023, meeting, including the mandatory participation by building and landowners.

The process of developing an HPO began nearly a year ago with the introduction of John Froke of Froke Urban Planning, whom the Town retained as a consultant to assist with the project. In April, a joint meeting was held with the HPC and Town Council to discuss early drafts, goals, and objectives for the Ordinance. The public was also invited to attend, and their opinions were solicited during an open house held earlier that same day.

Staff worked with Mr. Froke on developing a solid pre-final draft, which was completed in July 2023. Additional refinements have been made to the pre-final draft; the November 2023 meeting was the penultimate meeting held for the purpose of language clarification.

Proposition 207 (2006) and the Historic Preservation Ordinance: In 2006, voters in Arizona ratified Proposition 207, the Private Property Rights Protection Act. In short, any land use law adopted by a municipality (in this case) reduces a landowner's right to "use, divide, sell, or possess" their land and thereby reduces its value, the property owner is entitled to just compensation from the enacting jurisdiction for that diminution of value.

Since its codification, jurisdictions have approached implementation of new land use legislation with an abundance of caution, largely to avoid diminution claims. For instance, the City of Flagstaff faced some \$51 million in Prop 207 claims after enacting its High Occupancy Housing zoning code amendment in 2021, forcing it to waive the imposition of its regulations for a number of properties negatively affected by its implementation.

Several studies of the impact of historic preservation on property values have been conducted between 2001 and 2010. Most demonstrate a stabilizing of values at minimum, and generally validate increases in property values. However, the 2023 study “The Impact of the Historical–Architectural Component on Property Value” (Manganelli, Tajani, De Paola, Del Giudice) finds that there are instances where historic preservation can have a negative effect on property values:

“In some American states, historic designation imposes a wide range of restrictions on properties and neighborhoods with historical and architectural significance. These restrictions can negatively affect the desirability of the property, making potential buyers less likely to purchase such historically designated properties. In particular, historic designation imposes restrictions on alterations and demolitions, as well as limits the types of renovations that can be undertaken.”

During the Nov. 7 meeting, staff and commissioners discussed whether inclusion of properties should be mandatory or optional and participation incentivized. The Commission felt strongly that the ordinance should be adopted with participation mandated, as they felt that the benefit of implementing an HPO would improve rather than diminish property values. To ensure clarity on the impact of Prop 207 on the proposed HPO, the Commission requested staff consult with legal counsel. The advice proffered was that based on the studies widely available regarding the impact of historic preservation on property values, a Prop 207 claim would be difficult to make. However, should a defensible claim be made, staff would have the ability to negotiate a settlement for approval by Town Council.

Where a Prop 207 claim would be defensible is with respect to development regulations under the current Central Business (CB) zoning district, as the HPO would overlay the underlying zoning requirements set forth in Section 3-090, Central Business District:

- D. Maximum Building Height: 50 feet
- E. Minimum Lot Size: None
- F. Minimum Lot Frontage: 25 feet
- G. Maximum Floor Area Ratio: None

The final draft of the HPO suggests limiting building heights to two (2) stories, or 20’ maximum building height. However, mandating the two-story limit would be a clear violation of the Private Property Protection Act for existing landowners as they are currently allowed up to five (5) stories or 50’ under

existing zoning. These considerations would be outside the Certificate of Hardship set forth in Section 3-170-050, as the ability to avail oneself of existing regulations do not meet the criteria set forth therein.

Section Review

Section 3-170-010 Purpose: changes were made to subsections 4, 5, 6, 7, and 8. Text now includes statements about enhancing value of historic district and properties, and protecting and preserving properties.

Section 3-170-020 Historic District Designation: specifying verbiage was added to subsection B that would include new construction within the boundaries of the district.

Section 3-170-030 Development Standards: Declarative language ("shall" "required") was added, as was inclusion of requirements for new construction. Clarifying language was added to subsections A through E.

Section 3-170-040 Certificate of Appropriateness: Clarifying language was added to both Major and Minor Certificate of Appropriateness appellations.

Section 3-170-050 Certificate of Hardship: Language was added to exclude Certificates of Hardship for new construction.

Section 3-170-060 Demolition & Moving of Buildings & Structures: Adds language requiring staff review and a Certificate of Appropriateness for relocation of structures.

Initiation of Text Amendment: Both Arizona Revised Statutes and the Zoning Code of the Town of Clarkdale set forth specific procedures for amendments to the text of the zoning ordinance. Notification of property owners affected by the Ordinance is required, as is general notification of the public. A Public Hearing must be held before the Planning Commission; they will then forward the amendment to Town Council with a recommendation for approval, denial, or additional work. Town Council can then approve, deny, make changes, or send the ordinance back to staff for additional work.

Budget Impact: No budget impact.

Recommendation: Staff recommends approval of the final draft Historic Preservation Ordinance and initiation of the text amendment process with the optional incentives, rather than mandating participation.

Section 3-170 HISTORIC DISTRICT (HD)

Section 3-170-010 Purpose

The purpose of this ordinance is to support the preservation of buildings, structures, and sites identified in the Historic Resource Survey of Clarkdale (Ryden, 1989) and the National Register of Historic Places Designation (January 1, 1988) and identify, preserve, and enhance the Town's significant historical, architectural, cultural, and archaeological resources in the interest of the welfare of the citizens of Clarkdale by:

1. Protecting, preserving, and enhancing the significant elements of the historical, architectural, cultural, and archaeological heritage of the Town;
2. Encouraging the identification and recognition of significant historic resources;
3. Encouraging the sensitive adaptation of historic properties to modern uses;
4. Ensuring that new construction, additions, alterations, and demolitions to both historic and non-historic properties within the Clarkdale Historic District **are** carried out in a manner which is not detrimental to the historic integrity of the district;
5. **Encouraging the identification and protection of prehistoric and historic archaeological resources and enhancing the value of the historic district and properties.**
6. **Protecting and preserving those properties within the Town which are valuable to the preservation of the community character and identity;**
7. Preserving and enhancing the attractiveness of the Town to potential home buyers, and business interests;
8. Supporting **historic tourism** and promoting commercial development and economic benefit to the Town.

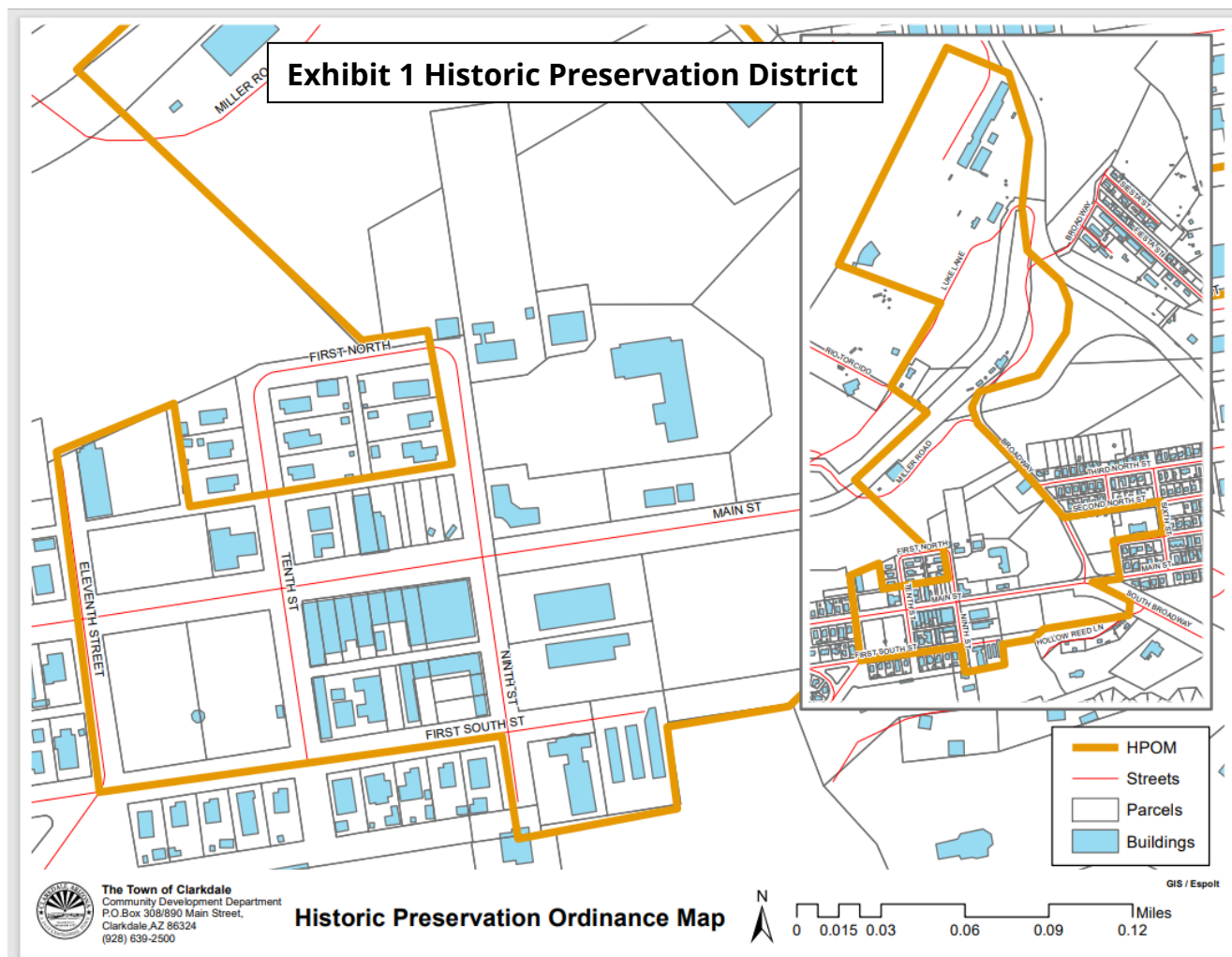
Section 3-170-020 Historic District Designation

The Historic District is an overlay zone. Overlay zones build upon the existing zoning by establishing additional requirements that are applied to the underlying zoning district.

A. Historic District Boundaries

The Historic Preservation District, which is subject to the regulations set forth herein, is designated by the boundaries set forth in Exhibit 1: Historic Preservation District.

B. The regulations set forth herein apply to all existing structures within the Historic District, and to all new construction in the District.



C. The Historic Preservation Commission shall serve as the Design Review Board for the District.

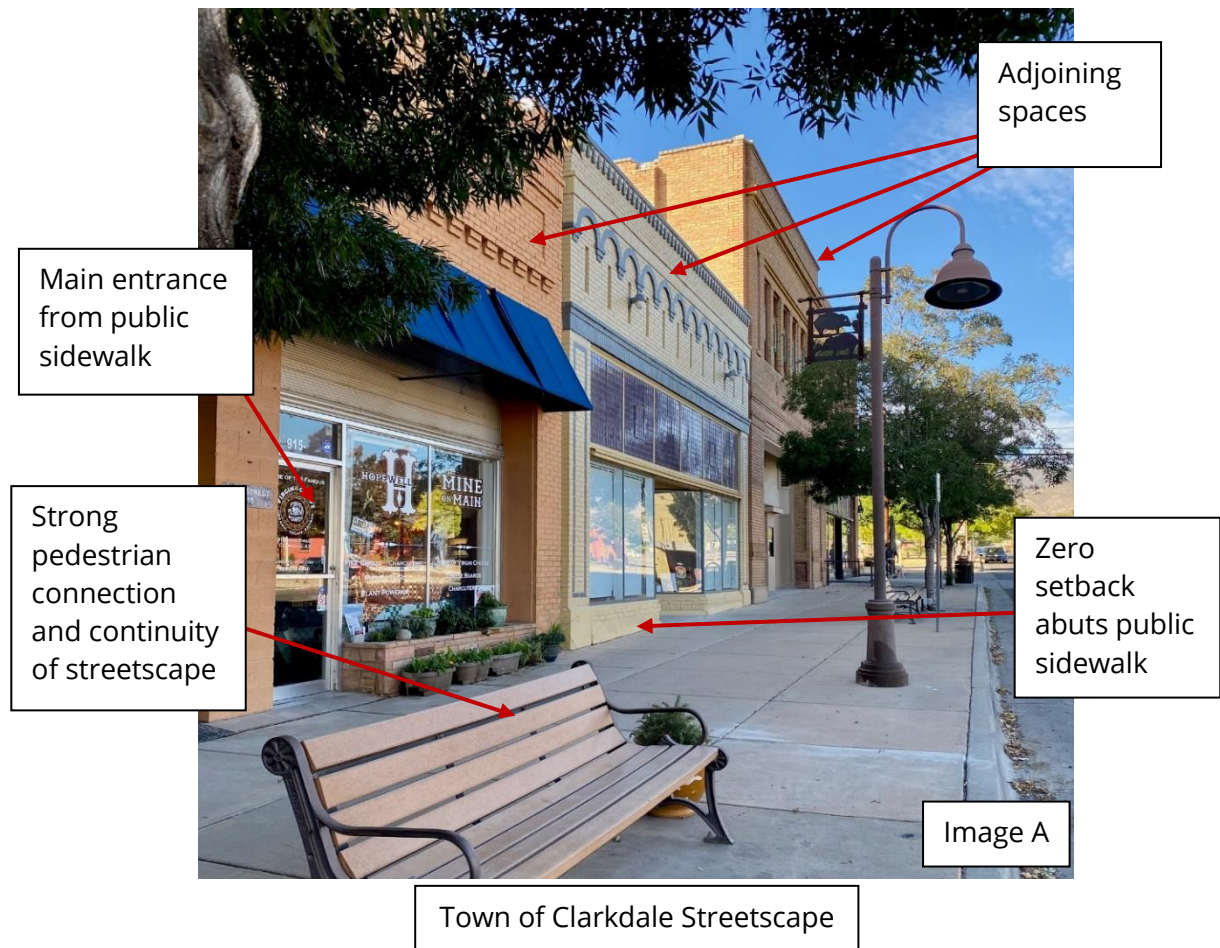
Section 3-170-030 Development Standards

Properties within the Clarkdale Historic District shall consider the surrounding context of the existing structures with respect to architectural style, building form, and building massing. Projects **shall** honor the Secretary of the Interior's standards for Rehabilitation of historic buildings.

When designing new or remodeled buildings or considering an adaptive reuse of an existing building, the following design features and elements shall be **incorporated**:

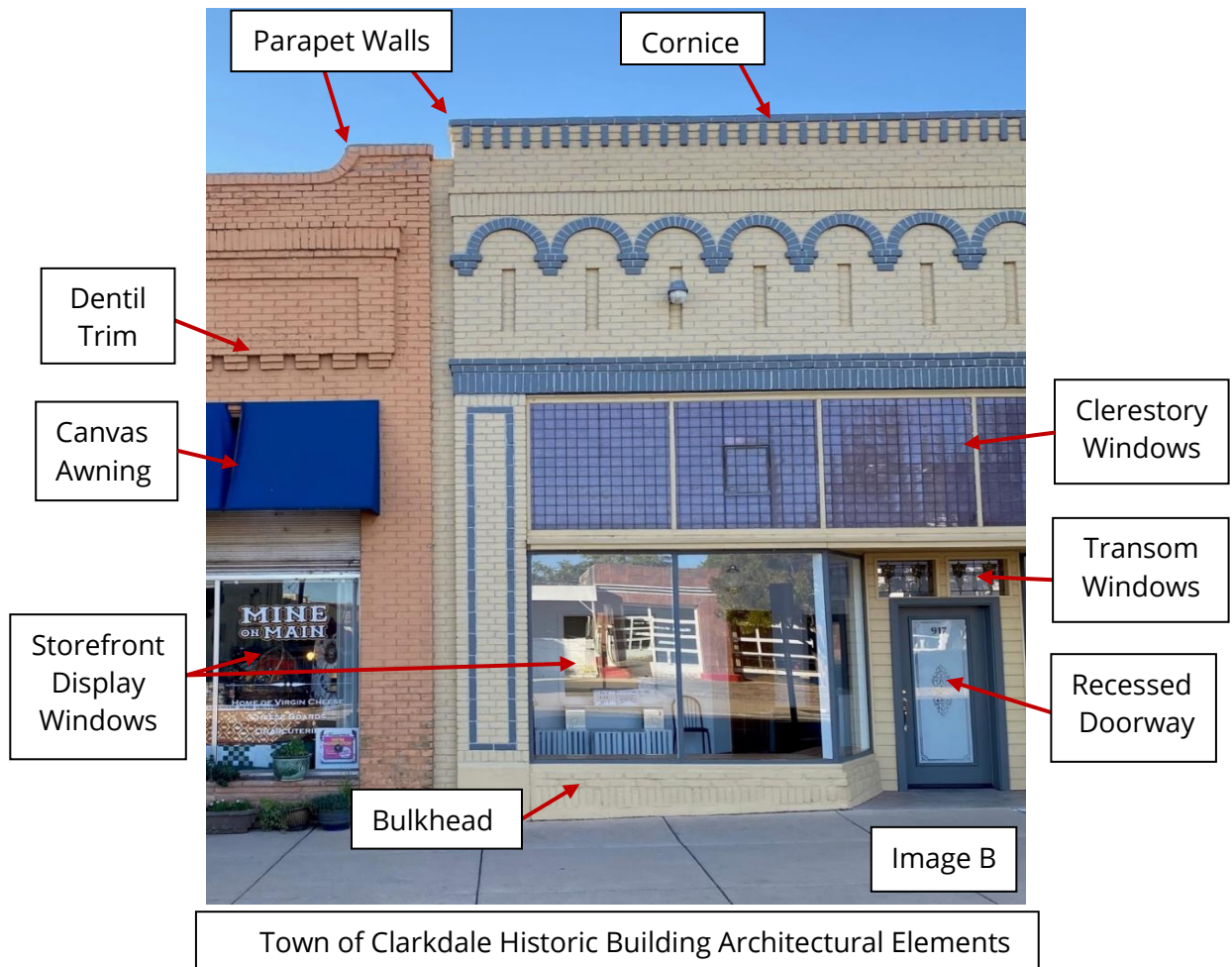
A. Siting

- 1) Establishment of a relationship to adjoining spaces. **For new construction**, one- and two-story buildings are encouraged.
- 2) A strong pedestrian connection to existing sidewalks or extension of the sidewalk system.
- 3) Continuity of streetscape along Main Street.
- 4) A main entrance from a public sidewalk
- 5) The front yard setback shall be reduced to zero if the main building abuts a public sidewalk.
- 6) The main entrance shall be from a public sidewalk.



B. Exterior Wall Design, Materials & Finishes

- 1) Incorporation of design features such as parapet walls, cornices, friezes, dentil trim, Metal canopies, canvas awnings, clerestory windows, transom windows, storefront display windows, recessed doorways and bulkheads are **required** for new construction.
- 2) Preservation of these features is required for rehabilitation or repair of existing structures.
- 3) The use of brick is required.
- 4) Masonry may be structural or veneer. Brick façades and/or partial brick inlays are encouraged.
- 5) Painting of brick is discouraged, unless replicating historic signage or installation of murals.
- 6) Stucco or wood may be used as an accent.



C. Roof and Parapet

- 1) Varied roof lines and parapet walls are required for new construction.
- 2) Preservation and restoration of existing parapet walls are required.
- 3) Metal roofing is acceptable.
- 4) Rooftop mechanical equipment shall be screened from public view from both front and side elevation for corner lots.



D. Storefronts, Doors, Windows & Awnings

1. Large storefront display windows are required. The use of wood is recommended for doors, trim and accenting the doorway and entry.
2. Windows shall be glass and shall be vertical in orientation and may be single, double hung, or fixed.
3. Steel may be used for doors and window frames if painted to match or anodized and compatible with the building.
4. Transom and clerestory windows are **required** for new construction and restoration is required for existing buildings.
5. Rounded arches **are encouraged when feasible** in new construction and preserved or restored in existing structures.
6. The use of wood for doors is strongly encouraged.
7. The use of canopies and awnings is allowed.



Image D

Wood Door and Frame

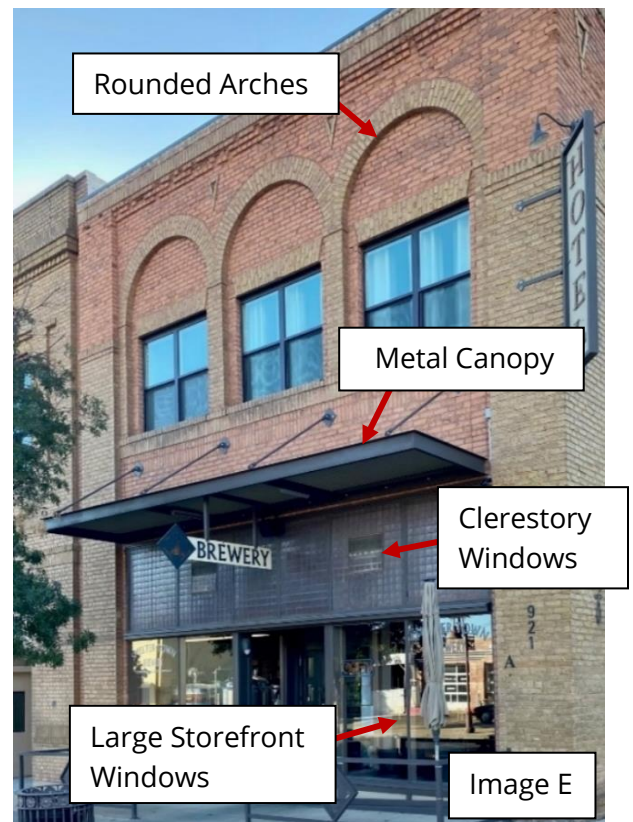


Image E

E. Site Features:

1. The purpose of this section is to provide guidance for site features so that they do not distract from the historic structures in the district, and enhance new construction within the district.

These features include but are not limited to walkways, benches, street lighting, paving materials, walls, stairs and landscaping. These features must be appropriate to the scale and character of the historic district as follows:

- a. Landscaping shall be drought tolerant. Building planter beds or containers are allowed and drip irrigation is recommended. The Property owner is responsible for maintaining plants in live condition.
- b. Lighting shall not detract from the historic character of the structure and must comply with the Town of Clarkdale Zoning Code, Section 8-070.
- c. Benches shall be of similar form and character with existing benches on Main Street and shall be securely fastened to concrete footings or sidewalk and shall not detract from the historic character of the historic district.
- d. Outdoor sidewalk cafes are allowed and regulated through a separate permit application and shall be compliant with the Town of Clarkdale Zoning Code, Section 4-160. The application can be submitted concurrent with the review process set forth in Section 3-170-030.

2. All other development and performance standards are as found in the underlying zoning district.

Section 3-170-030 Application Process

A. Prior to submitting a building permit application, in the Historic District, the applicant shall schedule a Pre-Application Review (PAR) meeting with the Community Development Department staff to review the required application submittals and review process.

B. All building permit applications for structures located in the Historic District, or proposed new construction, shall be reviewed by Community Development Director or designee ("Staff"), for classification as either a Minor or Major Certificate of Appropriateness as set forth in Section 3-170-040.

C. Plans showing the full scope of the proposed work shall be submitted at the time of application for a Major or Minor Certificate of Appropriateness. An approved plan shall be binding upon the applicant and their successors and assignees. No building permit shall be issued for any building or structure not in accordance with the plan, except that temporary facilities shall be permitted in conjunction with construction after approval of temporary facilities by staff.

1. When a building permit is sought from the Town to demolish, alter, remodel, move, build, renovate or otherwise develop or landscape property in the Clarkdale Historic District, issuance of the permit shall be deferred until after a Certificate of Appropriateness is obtained.
2. Permits with special circumstances that would generally require a variance, including but not limited to the size, height, locations and number of signs, the location of off-street parking, required screening and landscaping, the height of fences and walls, and the number of required off-street parking and loading space may be recommended for approval through the Certificate of Appropriateness process. Such variances shall meet the following findings of fact:
 - a. Are not contrary to health, safety, or best interest of the public.
 - b. Literal enforcement of the provision shall cause an unnecessary hardship that is neither economic or self-imposed harm.
 - c. Condition unique to the property which was not created by the property owner.
 - d. No adverse effect on surrounding properties.
 - e. Variance is not contrary to the intent of the Historic Preservation Ordinance.
 - f. No changes are made to underlying zoning districts or General Plan land use designations.
3. All other development and performance standards are as found in the underlying zoning district.
4. Nothing in this ordinance shall be construed to prevent ordinary maintenance, cleaning, or repair of any structure in the Historic District, which does not alter or modify the historic character of the structure.

Section 3-170-040 Certificate of Appropriateness

A. Applications for Certificates of Appropriateness shall be submitted to the Town of Clarkdale Community Development Department. Staff will review the application for completeness and provide review comments to the Commission.

Applications shall include the following items:

1. Site Plan: Shall include topography, vegetation, property lines, building, on-site circulation, and adjacent building footprints, streets, right of ways, curb cuts, driveways, sidewalks, signage, lighting, fences, and walls.
2. Exterior Elevations: Shall include doors, windows, architectural features, and elevation marks from finished grade to highest point of eaves, roof ridge, or parapet walls.

3. Rehabilitation, Remodel, or Restoration Plans: Shall detail what is preserved and what is replaced.
4. Floor Plans: For reference only, to help understand the overall plan.
5. Materials and Colors: Shall graphically depict proposed building facade, materials and colors.
6. Historic Photographs: Shall provide project context, elements and compatibility with adjacent properties.
7. Color Renderings: Provide finished project illustrations to show post-improvement compatibility with adjacent properties.
8. Landscape Plan: May be required; Zoning Code Section 9, Landscape Design Standards will apply.
9. Other possible requirements, depending on scope of project:
 - a. Traffic impact analysis.
 - b. Preliminary Plat or Development Plan.

B. Minor Certificate of Appropriateness

The Minor Certificate of Appropriateness (Minor COA) is subject to the review and approval of the Community Development Department and the Building Official. All proposed work will not diminish, eliminate, or adversely affect the historic character of the subject property or its effect on the Clarkdale Historic District as per the following Minor Certificate Standards:

1. The proposed work is clearly within the Development Standards
2. Limited to work that does not significantly alter the character and appearance of the property
3. Approval authorizes the issuance of permits required by the Building Official.
4. Approval of Minor COA also serves as Design Review approval.
5. The public will be notified of approval, approval with stipulations, or denial of application at the next regular meeting after approval by staff.
6. If a Minor COA is not issued, a Major Certificate of Appropriateness (MCOA) shall be required.

C. Major Certificate of Appropriateness

The Major Certificate of Appropriateness (**Major COA**) shall be subject to the review and approval of the Historic Preservation Commission and the Building Official for all major new construction, significant restoration, alteration, demolition, or other major construction activity in the Clarkdale Historic District. Interior space construction may require a **Major COA** when the space was an important component in approval to the structure's historic designation.

1. All proposed work will not diminish, eliminate, or adversely affect the historic character of the subject property or its effect on the Clarkdale Historic District.
2. **Major COA** Includes anything that represents substantial work, including alteration, restoration, new construction, demolition, or other significant activities.
3. The **Major COA** requires a public hearing before the Historic Preservation Commission. **Notice shall be given in conformance with the notification process for public hearings before the Planning Commission.**
4. The Historic Preservation Commission shall either approve the application, approve with stipulations, or deny the application. The Commission may also send the application back to staff for additional work.
5. The application shall then be forwarded to Town Council with a recommendation of approval, approval with stipulations, or denial.

D. The Historic Preservation Commission shall evaluate all proposals in accordance with the Secretary of the Interior Standards for Rehabilitation and the adopted design guidelines for the district. A Certificate of Appropriateness shall be granted if the Historic Preservation Commission determines that the proposed work:

1. Is compatible with the relevant historic, cultural, educational, or architectural qualities characteristic of the property; and
2. Does not diminish or adversely impact the integrity of the Clarkdale Historic District; or
3. Qualifies for a Certificate of Hardship.
4. Prior to forwarding the decision of the Historic Preservation Commission to the Town Council, the Historic Preservation Commission shall affirm the following findings of fact:
 - a. Substantially conform to the Design Guidelines for the Historic District.
 - b. Meets the intent of the Secretary of Interior's Standards for Rehabilitation.
 - c. Meets all applicable, adopted building codes of the Town of Clarkdale.
 - d. Is compatible with the relevant historic character of the property.
 - e. Does not diminish or adversely impact the integrity of the Historic District.

E. Approval of a Certificate of Appropriateness authorizes the issuance of permits required by the Building Official. A Certificate of Appropriateness expires one (1) year from the date of issuance if a building permit is not issued for the project.

Section 3-170-050 Certificate of Hardship

The purpose of a Certificate of Hardship is to grant leniency in applying standards or Historic Preservation Guidelines to a proposed rehabilitation project where a demonstrated economic hardship exists. A Certificate of Hardship may be recommended by the Historic Preservation Commission and granted by the Town Council. **No Certificate of Hardship shall be issued to a new construction project.**

The basis to establish hardship for an income producing property within the Historic Preservation District shall be the inability of a property, taken as a whole, to obtain a reasonable rate of return in its present condition or if rehabilitated.

A. Demonstration of a hardship shall not be based on or include any of the following circumstances:

1. Willful or negligent acts by the owner;
2. Purchase of the property for substantially more than market value;
3. Failure to perform normal maintenance and repairs;
4. Failure to diligently solicit and retain tenants; or
5. Failure to provide normal tenant improvements.

B. In order to properly assess a request for Certificate of Hardship, **Staff** shall request and receive from the applicant all information it deems necessary. This shall include, but is not limited to, the following:

1. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the building(s) on the property, their suitability for rehabilitation, and possible new uses for the property;
2. The assessed value of the land and improvements according to the two (2) most recent assessments;
3. All building and fire code violations which have been listed on the property for the last two (2) years;
4. Any federal, state, or local citation(s) which have determined the building to be a nuisance under applicable law.

C. The procedures for obtaining a Certificate of Hardship shall be the same for obtaining a Certificate of Appropriateness. If a Certificate of Hardship is issued, a Certificate of Appropriateness shall be granted.

Section 3-170-060

Demolition & Moving of Buildings & Structures

It is the intent of this ordinance to preserve the historic and architectural resources within the Historic District. However, it is recognized that there can be circumstances beyond the control of a property owner which may result in the necessary demolition of a structure within the Historic District. These circumstances include a building which constitutes an imminent safety hazard, which involves a resource whose loss does not diminish or adversely affect the integrity of the district, or which imposes an economic hardship on its owners as follows:

A. No permit shall be issued to move or demolish all or any part of a building, or other structure in the Historic District without approval of a Certificate of Appropriateness as established in Section 3-170-040.

B. Request for a demolition permit shall be exempt from these requirements if the Building Official determines, according to the criteria set forth in adopted codes, that the building is an imminent safety hazard to the public and that necessary repairs would be impractical. The Building Official shall first notify the Historic Preservation Specialist in writing before issuing the demolition permit.

C. If demolition approval is not granted, then no demolition permit shall be issued for a period of one (1) year. A subsequent demolition application may be made and granted for a property which has previously been the subject of a one (1) year demolition permit denial if new facts or circumstances can be presented in support of the application.

D. If demolition approval is granted on any basis other than that of an imminent hazard, hardship, or upon expiration of a restraint of demolition, a demolition permit shall not be issued until a redevelopment or reuse plan for the property has received a Certificate of Appropriateness.

1. Vacant land or non-use shall not be considered responsive to this requirement.
2. A redevelopment or reuse plan shall consist of a site plan illustrating the location of building, parking, walls, and landscaping, as well as building elevations which depict roof lines, doors, windows, and other architectural details.
3. A redevelopment or reuse plan shall also meet the requirements for Site Plan Review as set forth in Chapter 11, Section 11-110 of the Zoning Code.
4. A demolition approval may be conditioned on stipulations which provide for rights of access to the property for the purposes of documentation or for agreed upon removal of artifacts.

E. Relocation of structures shall follow the process set forth in Section 3-170-060 (D), and also obtain a Certificate of Appropriateness as set forth in Section 3-170-040.

Historic District Certificate of Appropriateness Flow Chart

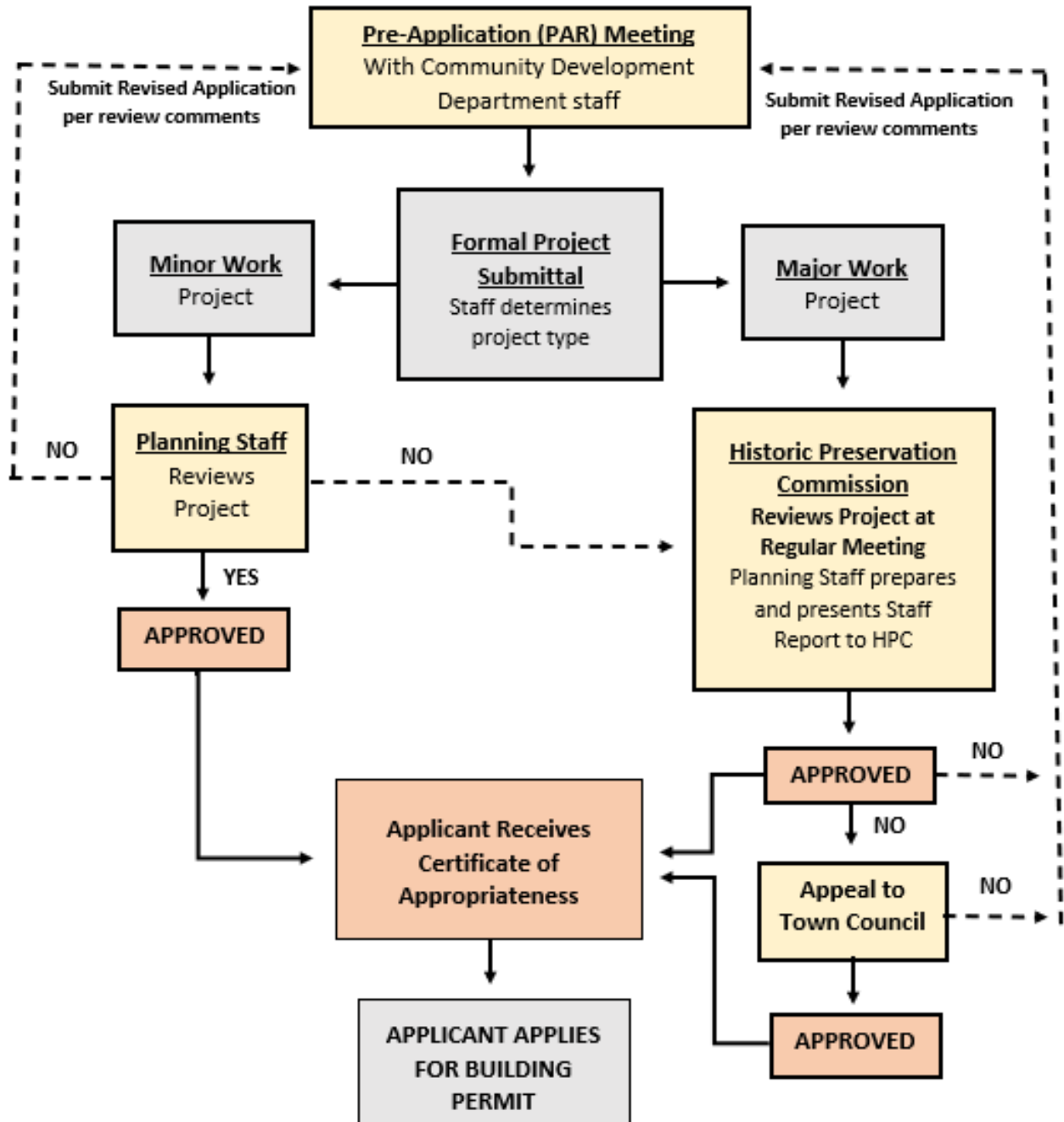


EXHIBIT 2: CERTIFICATE OF APPROPRIATENESS FLOW CHART

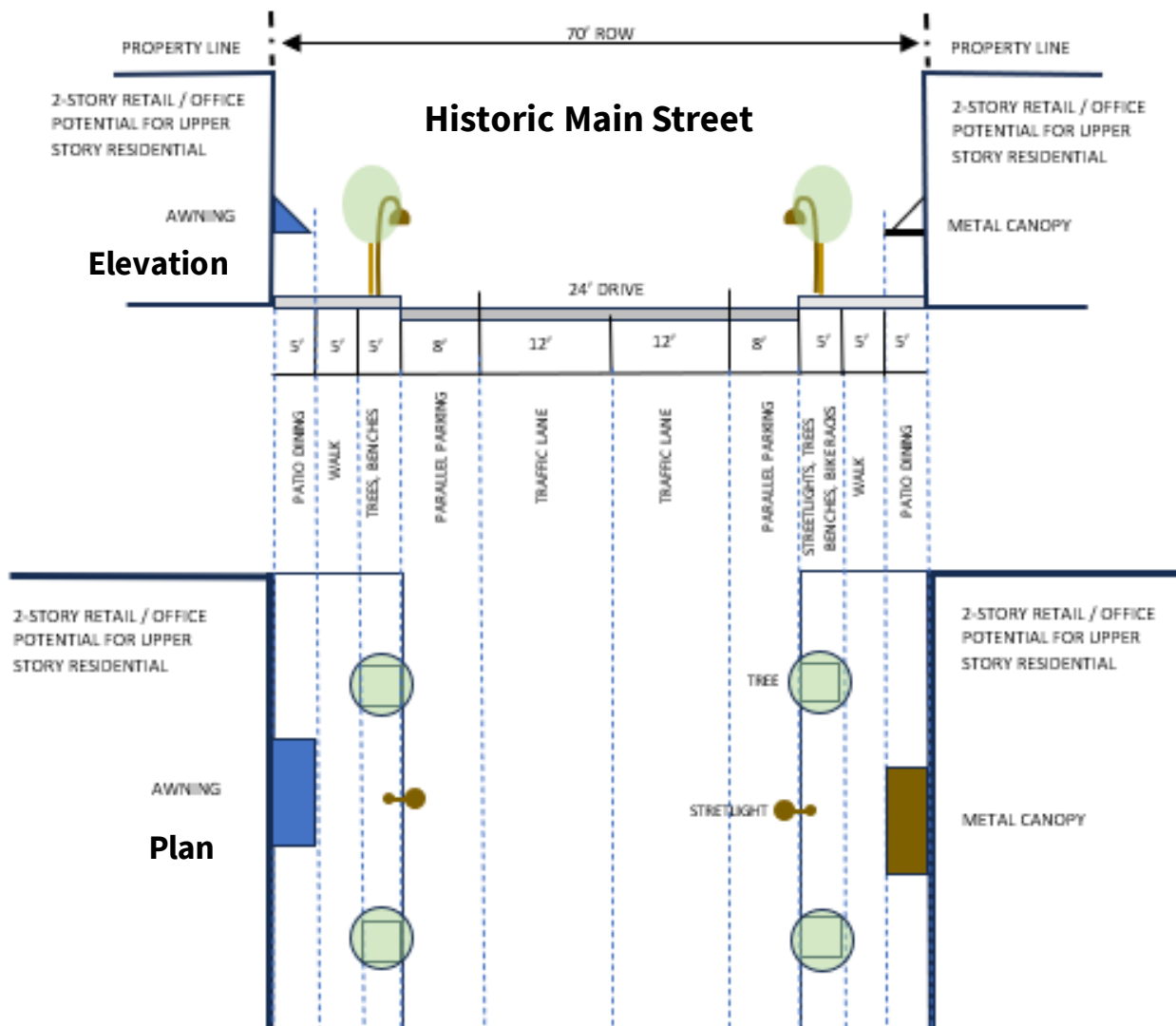


EXHIBIT 3 - STREET CROSS SECTION



Staff Report

Item Number: 6.A.

<u>Agenda Item:</u>	Bandstand Update Discussion only regarding an update on the bandstand/gazebo in Town Park.
<u>Staff Contact:</u>	Ruth Mayday, Community Development Director
<u>Meeting Date:</u>	December 5, 2023
<u>Strategic Goal:</u>	This agenda item supports the following Clarkdale Strategic Goal Area: • Goal Area 1 - Preserve and celebrate Clarkdale's unique, complex history.
<u>Background:</u>	The State Historic Preservation Office (SHPO) has agreed to undertake Voluntary Consultation (VC) of the Bandstand based on the additional information provided in the structural engineering report produced by Advanced Structural Engineering. Staff continues to work with the State Historic Preservation Office (SHPO) regarding next steps with the Bandstand. SHPO Architect Susan Lawson will be providing performance-based recommendations for the restoration of the Bandstand structure. This will include parameters within which the contractor can perform the requisite restoration activities. Staff will provide a copy of the VC report and recommendations to the Historic Preservation Commission (HPC) when they are available, and to the contractor prior to the initiation of work. <u>Historic Designation:</u> The Bandstand is a contributing structure in the Clarkdale Historic District and added to the National Register of Historic Places on Nov. 27, 1997.
<u>Budget Impact:</u>	No budget impact.
<u>Recommendation:</u>	Discussion only. No recommendation.