



**NOTICE OF A REGULAR MEETING OF THE PLANNING COMMISSION
OF THE TOWN OF CLARKDALE
TUESDAY, JULY 15, 2025 AT 4:30 PM**

In Person: Clark Memorial Clubhouse, 19 N. Ninth St., Clarkdale AZ

OR

Join Zoom Meeting

<https://zoom.us/j/9554994085>

Meeting ID:955 499 4085

Unless otherwise stated, the public will have physical access to the meeting place 15 minutes prior to the start of the meeting.

Town of Clarkdale Vision

The Town of Clarkdale connects our unique history, proximity to the Verde River, and small-town charm to a future with a vibrant economy.

We cultivate an environment where residents and businesses can thrive; providing services and jobs for our residents and capitalizing upon tourism.

We sustainably enhance our infrastructure, support the arts and education, and develop recreational opportunities to create a bright future for our entire community.

PURSUANT TO A.R.S. §38-431.02, NOTICE IS HEREBY GIVEN that the Planning Commission will hold a Regular Meeting open to the public on Tuesday, July 15, 2025, at 4:30 PM at 19 N. Ninth Street, Clarkdale, Arizona, Clark Memorial Clubhouse, Men's Lounge. A quorum of Town Council members may be present at this meeting; however, they will not deliberate or take action on any items. All members of the public are welcome to attend.

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR DISCUSSION AND POSSIBLE ACTION, UNLESS OTHERWISE NOTED.

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

The Planning Commission invites the public to provide comments at this time. Members of the Planning Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to A.R.S. §38-431.01, action taken as a result of public comment will be limited to directing staff to study the matter, responding to any criticism, or scheduling the matter for further consideration and decision at a later date. Persons interested in making comments on a specific agenda item are asked to complete a brief form and submit it to the Clerk or liaison during the meeting. Each speaker is asked to limit their comments to five minutes.

4. MINUTES

A. Approval of Minutes

Discuss, consider and act upon the draft minutes from the regular meeting held on April 15, 2025, and the joint meeting with the Historic Preservation Commission on June 17, 2025.

5. NEW BUSINESS

A. Selection of Chair for the Planning Commission

Discuss, consider and act upon the selection of a Chairperson for the Planning Commission to serve a term of one year.

B. Selection of Vice Chair for the Planning Commission

Discuss, consider and act upon the selection of a Vice Chairperson for the Planning Commission to serve a term of one year.

C. Exterior Signage at Hermosillo Hot Dogs

Discuss, consider and act upon the Design Review Wall Sign Application PC-250086 for exterior signage at Hermosillo Hot Dogs.

D. Exterior Signage at Bodega Pierce Winery

Discuss, consider and act upon the Design Review Wall Sign Application PC-250088 for exterior signage at Bodega Pierce Winery.

6. FUTURE AGENDA ITEMS

Planning Commission may propose items to be placed on a future agenda. This item is for discussion only.

7. ADJOURNMENT

Values

Values are the guiding principles that provide an organization with purpose and direction. The Town of Clarkdale's organizational values are:

COPPER

Customer focused

Open, transparent and equitable

Preserving our history, charm, and environment

Planning for a sustainable future

Economic and social resiliency

Resourceful and innovative

Mission

The Town of Clarkdale serves the community by providing amenities, infrastructure, services, and public safety to enhance quality of life. We are stewards of our history while we sustainably and resiliently plan for the future with an emphasis on community engagement and transparency.

Persons with a disability may request reasonable accommodations by contacting the Town Hall at (928) 639-2400 (TTY: 1-800-367-8939) at least 72 hours in advance of the meeting.



**SUMMARIZED MINUTES OF A REGULAR MEETING OF THE PLANNING COMMISSION
OF THE TOWN OF CLARKDALE
TUESDAY, APRIL 15, 2025 AT 4:30 PM**

(To listen to the full audio/video of the meeting,
please visit www.clarkdale.az.gov – agendas & minutes)

Members Present: *Chair de Blanc, Advisory member Johnson, Commissioner Spence, Commissioner Conk.*

Members Absent: *Commissioner Foutz, Commissioner Kelly.*

Other Municipal Officials Present: *Community Development Director & Assistant Town Manager, Ruth Mayday (Zoom); Associate Planner, Britania Esparza; Community Development Technician, Guss Espolt.*

Audience: *One member of the public was present.*

Zoom: *Community Development Director & Assistant Town Manager, was present on Zoom.*

- 1. CALL TO ORDER -** *Chair de Blanc called the meeting to order at 4:30 p.m.*
- 2. ROLL CALL –** *Present: Chair deBlanc, Advisory member Johnson, Commissioner Conk, Commissioner Spence. Absent: Commissioner Foutz, Commissioner Kelly.*
- 3. PUBLIC COMMENT**
No public comment.

4. MINUTES

A. Approval of Minutes

Discuss, consider and act upon the draft minutes from the special meeting held on Dec. 3, 2024.

Motion: *Spence made a motion to approve the minutes of the meeting held on Dec. 3, 2024*

First motion: *Spence* **Second:** *Conk*

Approved 4-0

Board Member	Ayes/Nays
Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Absent
Commissioner Spence	Aye

Commissioner Conk	Aye
Commissioner Kelly	Absent

5. CONSENT AGENDA

Items on the consent agenda are of a routine nature or have been previously studied by the Town Council at a work session or during a New Business discussion. They are intended to be acted upon in one motion. Council members may pull items from consent if they would like them considered separately.

6. NEW BUSINESS

A. Selection of Chair for the Planning Commission

Discuss, consider and act upon the selection of a Chairperson for the Planning Commission to serve a term of one year.

Motion: *-TABLED*

First motion: *Conk* **Second:** *Spence*

Approved 4-0

Board Member	Ayes/Nays
Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Absent
Commissioner Spence	Aye
Commissioner Conk	Aye
Commissioner Kelly	Absent

B. Selection of Vice Chair for the Planning Commission

Discuss, consider and act upon the selection of a Vice Chairperson for the Planning Commission to serve a term of one year.

Motion: *-TABLED*

First motion: *Spence* **Second:** *Conk*

Approved 4-0

Board Member	Ayes/Nays
Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Absent
Commissioner Spence	Aye
Commissioner Conk	Aye
Commissioner Kelly	Absent

C. PUBLIC HEARING: Zone Change Request from Single Family and Limited Multiple Family Residential (R2) to Commercial (C2)

The Planning Commission held a public hearing to take public comment on a Zone Change Request for Application No. PC-250024, APN 400-07-026F (414 Peace Garden Path, Clarkdale,

AZ, a 5.37-acre lot): A request to change the zoning designation from Single Family and Limited Multiple Family Residential (R2) to Commercial (C), to accommodate the establishment of an Arts and Wellness Center.

No public comment.

D. Zone Change Request from Single Family and Limited Multiple Family Residential (R2) to Commercial (C2)

Discuss, consider and act upon a Zone Change Request for Application No. PC-250024, APN 400-07-026F (414 Peace Garden Path, Clarkdale, AZ, a 5.37-acre lot): A request to change the zoning designation from Single Family and Limited Multiple Family Residential (R2) to Commercial (C), to accommodate the establishment of an Arts and Wellness Center.

Associate Planner, Britania Esparza presented a PowerPoint, followed by the applicant presenting a PowerPoint.

Motion: To approve Zone Change Request for Application No. PC-250024, APN 400-07-026F (414 Peace Garden Path, Clarkdale, AZ, a 5.37-acre lot): A request to change the zoning designation from Single Family and Limited Multiple Family Residential (R2) to Commercial (C), to accommodate the establishment of an Arts and Wellness Center and send to Council.

First motion: *Johnson* **Second:** *Spence*

Approved 4-0

Board Member	Ayes/Nays
Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Absent
Commissioner Spence	Aye
Commissioner Conk	Aye
Commissioner Kelly	Absent

7. FUTURE AGENDA ITEMS

Planning Commission may propose items to be placed on a future agenda. This item is for discussion only. - *Discussion of Chair and Vice Chair. If there are only four Commission members present at the next meeting, Chair and Vice Chair voting will proceed.*

8. ADJOURNMENT

Motion: *Motion to adjourn.*

First motion: *Spence* **Second:** *Conk*

Approved 4-0

Board Member	Ayes/Nays
Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Absent
Commissioner Spence	Aye
Commissioner Conk	Aye
Commissioner Kelly	Absent

Chair de Blanc adjourned the meeting without objection at 5:10 p.m.

Ida Meri de Blanc, Chair

Ruth Mayday, Community Development Director



**SUMMARIZED MINUTES OF A JOINT MEETING OF THE PLANNING COMMISSION AND
THE HISTORIC PRESERVATION COMMISSION
OF THE TOWN OF CLARKDALE
TUESDAY, JUNE 17, 2025 AT 4:30 PM**

Members All Present (PC): *Advisory Johnson, Commissioner Conk, Commissioner Spence, Chair deBlanc, Commissioner Foutz, Commissioner Kelly.*

Members All Present (HPC): *Commissioner Snyder, Commissioner Westcott, Commissioner Malla, Chair Guebard, Vice Chair Stein.*

Other municipal officials present: *Community Development Director & Assistant Town Manager Ruth Mayday, Associate Planner Britania Esparza, Community Development Technician Guss Espolt, Parks and Recreation Director Joni Westcott, Mayor Robyn Prud'homme-Bauer, Town Manager Susan Guthrie.*

Audience: *Nine members of the public were present.*

Zoom: *Two members of the public were present on Zoom.*

1. CALL TO ORDER

A. Planning Commission - *Chair de Blanc called the meeting to order at 4:30 p.m.*

B. Historic Preservation Commission – *Chair Guebard called the meeting to order at 4:30 p.m.*

2. ROLL CALL

A. Planning Commission – *Present: Chair deBlanc, Advisory member Johnson, Commissioner Conk, Commissioner Spence, Commissioner Foutz, and Commissioner Kelly.*

B. Historic Preservation Commission – *Present: Matthew Guebard, Amy Stein, Mike Westcott, Cynthia Malla, and Kerrie Snyder.*

3. PUBLIC COMMENT

Three members of the public, Nathan Porter, Cindy Emmett, and Mike Lindner were opposed to the Newstand widow amendment, and one member of the public Gregory Jiede had general comments.

4. NEW BUSINESS

A. Amendment to the Approved Design Plan for The Newstand

Discuss, consider, and act upon an amendment to the approved Design Plan for The Newstand, located at 909/911 Main Street, Clarkdale, AZ 86323. Applicant: 909 Main Street LLC; Agent, Rennie Radoccia.

Motion – Planning Commission:

To approve the amendment to the approved Design Plan for the Newstand.

First motion: Kelly **Second:** Foutz

Approved 6-0

Board Member	Ayes/Nays
Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Aye
Commissioner Spence	Aye
Commissioner Conk	Aye
Commissioner Kelly	Aye

Motion – Historic Preservation Commission:

To approve the amendment to the approved Design Plan for the Newstand

First motion: Snyder **Second:** Stein

Approved 4-1

Commissioner	Aye/Nay
Vice Chair Guebard	Aye
Commissioner Snyder	Aye
Commissioner Westcott	Aye
Commissioner Malla	Nay
Commissioner Stein	Aye

5. FUTURE AGENDA ITEMS

PC - Discussion of Chair and Vice Chair.

HPC – Yavapai Apache Nation Cultural Resource Team, has been invited to participate in the continued conversation on the Reworking of Historic Markers in Clarkdale.

6. ADJOURNMENT

A. Planning Commission

Motion: *Motion to adjourn.*

First motion: Foutz **Second:** Kelly

Approved 6-0

Board Member	Ayes/Nays
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Chair de Blanc	Aye
Advisory Johnson	Aye
Commissioner Foutz	Aye
Commissioner Spence	Aye
Commissioner Conk	Aye
Commissioner Kelly	Aye

Chair de Blanc adjourned the meeting without objection at 5:52 p.m.

B. Historic Preservation Commission

Motion: *Motion to adjourn.*

First motion: Snyder **Second:** Stein

Approved 5-0

Commissioner	Aye/Nay
Vice Chair Guebard	Aye
Commissioner Snyder	Aye
Commissioner Westcott	Aye
Commissioner Malla	Aye
Commissioner Stein	Aye

Chair Guebard adjourned the meeting without objection at 5:52 p.m.

Ida Meri de Blanc, Chair

Ruth Mayday, Community Development Director



Staff Report

Item Number: 5.A.

<u>Agenda Item:</u>	Selection of Chair for the Planning Commission Discuss, consider and act upon the selection of a Chairperson for the Planning Commission to serve a term of one year.
<u>Staff Contact:</u>	Ruth Mayday, Assistant Town Manager/Community Development Director
<u>Meeting Date:</u>	July 15, 2025
<u>Strategic Goal:</u>	This agenda item supports the following Clarkdale Strategic Goal: <ul style="list-style-type: none">• Goal Area 2 - Enhance the quality of life for residents, businesses, and visitors to Clarkdale.
<u>Background:</u>	<p>The role of the Chair and Vice Chair generally rotates each year. Frequently, the position is based on seniority, but that is not a mandatory criterion. The willingness and ability of an individual to serve as the Chair or Vice Chair should be taken into consideration. The additional responsibilities of serving as Chair and Vice Chair may take extra time.</p> <p>Responsibilities of the Chair:</p> <ul style="list-style-type: none">• Preside at all official meetings of the Commission.• Consult with the staff liaison on drafting the meeting agenda.• Attend Town Council meetings as needed to represent the Commission.• Sign correspondence on behalf of the Commission.• Make the public feel welcome at meetings.• Keep discussions orderly, focused, efficient, impersonal, and fair.
<u>Budget Impact:</u>	No budget impact.
<u>Recommendation:</u>	Staff recommends the board select and vote to approve a Chair for the Planning Commission to serve a term of one year.



Staff Report

Item Number: 5.B.

Agenda Item: **Selection of Vice Chair for the Planning Commission**
Discuss, consider and act upon the selection of a Vice Chairperson for the Planning Commission to serve a term of one year.

Staff Contact: Ruth Mayday, Assistant Town Manager/Community Development Director

Meeting Date: July 15, 2025

Strategic Goal: This agenda item supports the following Clarkdale Strategic Goal Area:

- Goal Area 2 - Enhance the quality of life for residents, businesses, and visitors to Clarkdale.

Background: The role of the Chair and Vice Chair generally rotates each year. Frequently, the position is based on seniority, but that is not a mandatory criterion. The willingness and ability of an individual to serve as the Chair or Vice Chair should be taken into consideration. The additional responsibilities of serving as Chair and Vice Chair may take extra time.

The responsibilities of the Vice Chair are the substitute for the Chair as needed.

Responsibilities of the Chair:

- Preside at all official meetings of the Commission.
- Consult with the staff liaison on drafting the meeting agenda.
- Attend Town Council meetings as needed to represent the Commission.
- Sign correspondence on behalf of the Commission.
- Make the public feel welcome at meetings.
- Keep discussions orderly, focused, efficient, impersonal, and fair.

Budget Impact: No budget impact.

Recommendation: Staff recommends the board select and vote on a Vice Chair for the Planning Commission to act on behalf of the Chair in their absence and serve a term of

one year.



Staff Report

Item Number: 5.C.

Agenda Item: **Exterior Signage at Hermosillo Hot Dogs**
Discuss, consider and act upon the Design Review Wall Sign Application PC-250086 for exterior signage at Hermosillo Hot Dogs.

Staff Contact: Britania Esparza, Associate Planner

Meeting Date: July 15, 2025

Strategic Goal: This agenda item supports the following Clarkdale Strategic Goal Area:

- Goal Area 1 - Enhance the quality of life for residents, businesses, and visitors to Clarkdale.
- Goal Area 3 - Strengthen and diversify our economy through cultivating a business-friendly climate for business attraction and strategically capitalizing upon tourism.

Background: On Jan. 4, 2023, the applicant, Hermosillo Hot Dogs, represented by business owner Ruby Reyes, presented a comprehensive sign package to the Design Review Board. The package included a projecting wall sign and an A-frame sign, both of which were reviewed and approved. At that same meeting, a wall sign was also proposed; however, due to the use of vinyl material—which was deemed insufficiently durable to withstand sun exposure and weather elements—the Board stipulated that the applicant return with an updated proposal using sturdier materials.

The applicant has returned to the Planning Commission with a revised wall sign application. The updated proposal includes the use of ¾-inch pressure-treated plywood for the sign backing, with 7¾-inch black wooden letters spelling out “Mexican Restaurant.” The sign dimensions are 8 feet wide by 2 feet tall, totaling 16 square feet, which is well within the maximum signage allowance as calculated per Chapter 7, Section 7-090 of the Town of Clarkdale Zoning Code.



The proposed sign will be affixed using exterior screws and illuminated by two downward-facing light fixtures with metal cone-shaped lamp shades.

The subject property is located in the "Central Business" (CB) zoning district, which permits wall, projecting, and portable signage, as well as restaurant uses. Hermosillo Hot Dogs is operating at the former "Su Casa" restaurant location and is seeking design review approval for the new code-compliant wall sign.

It is important to note that, per the U.S. Supreme Court ruling in *Reed v. Town of Gilbert*, the Design Review Board's authority, applies only to the manner and placement of signage, not to its content.

Staff has reviewed the application and finds that it is in full compliance with the Town of Clarkdale Zoning Code, Chapter 7 – Signs. Specifically, the application conforms to all applicable standards regarding illumination, size, materials, and placement, as outlined in Chapter 7, Signs:

Wall Signs (Section 7-080.P):

1. One sign is permitted per approved wall area, defined as a wall facing a public street or containing the primary public entrance.
2. The maximum height allowed is the height of the wall to which the sign is affixed.
3. Signs may project up to 18 inches from the wall surface, with a required minimum vertical clearance of 9 feet if extending over a public right-of-way.
4. Maximum allowable sign square footage is governed by Section 7-090.

Additionally, the applicant's signage is complementary to the building's historic natural brick façade and its existing window and door frame colors, maintaining consistency with the district's visual character.



Budget Impact: No budget impact.

Recommendation: Staff recommends that the Planning Commission approve the Design Review Wall Sign Application PC-250086 for exterior signage at Hermosillo Hot Dogs.

CHAPTER 7

SIGNS

Articles:

7-010	Purpose and Intent
7-020	General Provisions
7-030	Sign Illumination
7-040	Signs Exempt from this Ordinance and Fees
7-050	Prohibited Signs
7-060	Non-Conforming Signs
7-070	Commercial Uses in Residential Zoning Districts
7-080	Permitted signs
7-090	Maximum Sign Square Footage for Commercial Uses
7-100	Visibility Sight Lines
7-110	Permitted Signs by Type and Zone District Chart
7-120	Enforcement
7-130	Permitted Sign Table
7-140	Political Sign-Free Zone Map

(Created by Ord #348/Res #1421 on 1/22/13, Effective 2/22/13)

Section 7-010 Purpose and Intent

It is the purpose of this title to regulate all exterior signs so as to protect property values, the character of various use areas of the Town and the health, safety and public welfare of the citizens of the Town.

Signs shall be erected and displayed in such a manner as to avoid clutter, unwarranted distraction and visual or perceptual confusion to the detriment of the safe operation and functioning of the Town's transportation systems.

Furthermore, it is intended these regulations will not unreasonably infringe on any individual's right to communicate ideological expression through the use of signs.

All signs constructed within the Town of Clarkdale shall be required to blend with the context of the Town, and shall incorporate elements reflecting the small town character, neighborhood feel and the sense of history defining the Town of Clarkdale. (Revised by Ordinance #438 on 12/10/24; effective 1/10/25; prior code § 7-1)

Section 7-020 General Provisions

A. *Permits.*

1. Unless exempt from a permit in accordance with Section [7-040](#), permits are required for all commercial signs. Application shall be made to the Community Development Department on applicable forms and include information as required by the Town.
2. In the absence of a master sign plan, each individual sign requires a separate permit.

B. Whenever a business, industry or service using a commercial sign is discontinued, the sign shall be removed or obscured by the person owning or having possession of the property within thirty (30) days after the discontinuance of the business, industry or service.

C. All signs other than wall signs may be back-to-back. Only the size of one (1) side shall count towards the cumulative maximum noted in Section [7-090](#).

D. Attachment of any sign to utility poles, traffic control devices or street signs shall be prohibited. Unless specifically provided for in the code, no sign shall project, overhang or otherwise be located on public property.

E. Any sign to be erected wholly or partially within state highway right-of-way shall be approved by the Arizona Department of Transportation prior to Town consideration.

F. *Sign Measurements.* The area of the sign shall be determined by measuring the total area of the sign excluding any supporting framework.

G. All commercial signs, other than temporary signs, must receive design review approval prior to placement.

H. Signs shall be maintained and be free of chipping paint, visible cracks or gouges, or general deterioration.

I. The back of all one-sided freestanding signs must be finished with a non-reflective surface.

J. A master sign package for each new commercial, multi-family and residential subdivision, including the type, number, size, locations, materials and colors of the various signs, shall be approved by the Planning Commission prior to the issuance of a permit for any sign authorized under this section. (Revised by Ordinance #438 on 12/10/24; effective 1/10/25; prior code § 7-2)

Section 7-030 Sign Illumination

A. Illumination is not allowed within seventy-five (75) feet of a residential district, except as permitted in a PUD or PAD.

B. All light fixtures shall be fully shielded and shall be installed in a manner as defined for fully or partially shielded fixtures.

- C. Indirect lighting fixtures shall be installed so that the illuminated area is limited to the sign area and the light must be directed downward.
- D. Internally illuminated signs shall be constructed with an opaque background and translucent lettering or symbols, or with a colored background and lighter letters. The color of the background is not limited by this code.
- E. Illuminated signs must be extinguished by 9:01 p.m. or at the close of business, whichever is later. (Prior code § 7-3)

Section 7-040 Signs Exempt from this Ordinance and Fees

- A. Official notices required by a court, public body or safety official.
- B. Directional, warning or information signs authorized by federal, state or municipal agencies.
- C. Memorial plaques, building identification signs and building cornerstones when made an integral part of the building or structure.
- D. Flags of a government or a non-commercial institution such as a school or fraternal organization.
- E. Religious symbols and seasonal decorations within the appropriate public holiday season.
- F. Ideological signs.
- G. Community and public information signs. (Prior code § 7-4)

Section 7-050 Prohibited Signs

- A. Animated signs except as provided for in Section [7-080-A](#).
- B. Electronic signs.
- C. Signs with intermittent or flashing illumination except for neon signs. .
- D. Roof signs.
- E. Private signs in public right-of-way except political signs. See Section [7-080-G](#).
- F. Signs emitting sound.
- G. Signs resembling traffic control devices.
- H. Signs painted on the exterior of fences or roofs.
- I. Signs advertising facilities or events located outside the Town of Clarkdale.

- J. Signs obstructing clear vision in any direction from any street intersection or driveway per Section [7-100](#).
- K. Illuminated signs erected in such a location that a traffic signal is in a direct line of sight between the sign and on-coming traffic.
- L. Signs employing lighting or a control mechanism which causes radio, radar or television interference.
- M. Signs obstructing any fire escape, window, door or opening used or required as a means of ingress or egress for firefighting purposes.
- N. Signs that are unsafe, dilapidated or not in use. (Prior code § 7-5)

Section 7-060 Non-Conforming Signs

A. Nonconforming:

1. All non-conforming signs shall be brought into conformance with the provisions of this code, either by removal or reconstruction within ten (10) days following receipt of official notice of a violation from the Town. Reconstruction, enlargement, relocation, extension, replacement or alteration of the structure of a nonconforming sign to any extent, except as permitted in Section [7-060-A-2](#) and [7-060-A-3](#) is not permitted unless it is brought into conformance with this code.
2. A nonconforming sign which is destroyed or damaged to the extent of more than 50 percent of its net worth, at the time of damage, due to natural causes shall not be reconstructed except in conformance with this code.
3. Any non-conforming sign destroyed or damaged to any extent by vandalism may be reconstructed to its original state within 3 months.
4. A nonconforming, on-site sign shall be considered abandoned when the property upon which it is located becomes vacant or unoccupied for a period of 6 consecutive months from the date of a utility disconnect or a documented inspection of the property for which it advertises. (Prior code § 7-6)

Section 7-070 Commercial Uses in Residential Zoning Districts

A. Bed & Breakfast:

1. *Downward directed lighting only.* No internally lit signs.
2. One wall or free standing sign per permitted Bed & Breakfast.
3. Maximum total sign size of three (3) square feet in single-family residential districts.

4. Maximum total sign height of eight (8) feet for wall mounted signs including base and sign in all residential districts.
 5. Maximum total sign height of thirty (30) inches for free standing signs.
 6. Non-Residential district:
 - a. As permitted by Section [7-090](#) for maximum signage square footage for commercial businesses.
- B. Home Occupation:
1. *Downward directed lighting only.* No internally lit signs.
 2. One wall or free standing sign.
 3. Limited to name or occupation of occupant conducting a permitted home occupation.
 4. Maximum total sign height of 30 inches for a free standing sign.
 5. Non-Residential district:
 - a. As permitted by Section [7-090](#) for maximum signage square footage for commercial businesses.
- C. Multiple Family Residential
1. Each multi-family complex is limited to a total number of three on-premise signs per street frontage.
 2. Non-illuminated.
 3. See Section [7-090](#) for maximum signage square footage. (Prior code § 7-7)

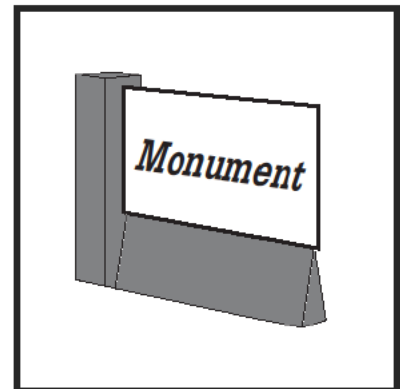
Section 7-080 Permitted signs

- A. Animated:
1. Limited to traditional barber poles and time and temperature devices.
 2. Maximum of one (1) per business.
 3. Freestanding, wall or projection.
 4. Maximum size not to exceed fifty (50) square feet.
 5. Included in the calculation of total sign area maximums.
 6. Shall not project above roof line.
- B. Awning (canopy):

1. Signs may be attached to awnings made of rigid materials or applied or painted on the awning surface.
2. Signage on awnings shall not project above the awning.
3. Bottom of awning shall maintain a nine (9) foot vertical clearance.
4. Signage on awnings shall count toward the maximum signage square footage in Section [7-090](#).

C. Freestanding Monument Signs:

1. Permitted in commercial and multi-family zoning districts and for residential subdivisions.
2. Minimum setback from property line equals one (1) foot for each foot of height of the sign for signs six (6) feet or less in height; for signs in excess of six (6) feet in height the setback shall be greater than or equal to the height of the sign.
3. Low-water use, drought-tolerant plants from the Town of Clarkdale Plant List, Section [9-090](#) of the Zoning Code, or landscape rocks may be placed around the sign base to minimize the visual impact of a monument sign and create a visually attractive appearance.
4. One (1) monument sign is allowed for each road intersection providing access to the property.
5. See Section [7-090](#) for maximum signage square footage.
6. Base of sign must be in proportion to sign size area.
7. Maximum height of sign and base shall not exceed ten (10) feet above existing grade at time of construction.



D. Off-Premises Commercial Signs:

1. Maximum number equals one (1) per street frontage per parcel on which the sign is placed. Proof provided to the Town of permission from the parcel owner is required prior to installation of any off-premise sign.
2. Maximum size of sign advertising a single use equals thirty-two (32) square feet.
3. Maximum size of sign advertising multiple uses equals fifty (50) square feet.
4. Minimum separation between off-premise signs equals six hundred (600) feet, includes signs on same or different parcels.
5. Minimum separation between off-premise and on-site signage equals two hundred (200) feet.

6. Minimum setback equals the required setback of the zone district if the parcel is developed or ten (10) feet if undeveloped.
 7. Limited to Central Business, Commercial or Industrial zoning districts.
 8. Fifty percent of the signage allocated to off-premise advertising shall be deducted from the allowable on-site signage of the advertising parcel.
 9. Maximum height of sign and base shall not exceed ten (10) feet above existing grade at time of construction.
- E. On-Site Commercial Information:
1. As reviewed and approved by staff and the Planning Commission during review of a master sign plan application.
 2. On-site information signage shall not contain advertising script or symbols.
- F. Neon:
1. Permitted in the Central Business and Commercial Districts only.
 2. May be projecting, window or wall.
 3. Shall only be illuminated during business operating hours.
- G. Political – (In Accordance with ARS [16-1019](#)):

Political signs meeting the following conditions are allowed in the Town of Clarkdale:

1. Maximum size equals sixteen (16) square feet, if the sign is located in an area zoned for residential use, or a maximum area of thirty-two (32) square feet if the sign is located in any other area.
2. Signs may be located on private property or in public right-of-way except state highways or routes subject to the following conditions:
 - a. The sign supports or opposes a candidate for public office, or it supports or opposes a ballot measure, question or issue;
 - b. The sign is not placed in a location that is hazardous to public safety, obstructs clear vision in the area or interferes with the requirements of the Americans with Disabilities Act;
 - c. The sign contains the name and telephone number or website address of the candidate or campaign committee contact person;
 - d. Installation of a sign on any structure or property owned or leased by the Town is prohibited;

- e. No political signs will be permitted in the Commercial Tourism Political Sign-Free Zone. Refer to Section [7-140](#), Political Sign-Free Zone Map;
- f. In accordance with ARS Section [16-411](#), any facility that is used as a polling place on election day, or that is used as an early voting site during the period of early voting, shall allow persons to electioneer and engage in other political activity outside of the seventy-five (75) foot limit prescribed by ARS Section [16-515](#).

3. If the Town deems the placement of a political sign constitutes an emergency, the Town may immediately relocate the sign and shall notify the candidate or campaign committee that placed the sign within twenty-four (24) hours of relocation. If a political sign does not conform to the conditions in subsection [\(G\)\(2\)](#) of this section but does not constitute an emergency, the Town may notify the candidate or campaign committee that placed the sign in violation.

- a. If the sign remains in violation at least twenty-four (24) hours after the Town notified the candidate or campaign committee, the Town may remove the sign.
- b. If the sign is removed in conformance with subsection [\(G\)\(3\)\(a\)](#) of this section, the Town shall notify the candidate or campaign committee and retain the sign for at least ten (10) business days to allow the candidate or campaign committee to retrieve the sign without penalty.

4. For candidates in an election, signs shall be erected no earlier than seventy-one (71) days before the election and must be removed no later than fifteen (15) days after the election. If a candidate in a primary election advances to the general election, the signs must be removed no later than fifteen (15) days after the general election.

5. For signs that support or oppose a ballot measure, question, or issue, the signs shall be erected no earlier than seventy-one (71) days before the election at which the measure, question, or issue is scheduled to appear on the ballot and must be removed no later than fifteen (15) days after that election.

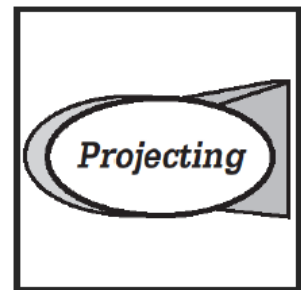
H. Portable Signs:

- 1. Permitted in the Commercial and Central Business Districts with the following restrictions:
 - a. Maximum size is six (6) square feet.
 - b. Signs shall be non-reflective.
 - c. Information on signs shall be current.
 - d. Signs shall be of sufficient weight and durability to withstand wind gusts and storms so as not to blow over or become airborne.
 - e. The portable sign shall not count towards the maximum allowable sign area calculation for the use.
 - f. One portable sign is allowed per business.

- g. No more than three portable signs are allowed per fifty (50) feet of linear street frontage.
- h. The sign shall be placed on the property being identified or within the right-of-way directly in front of and immediately abutting the property location.
- i. No sign shall be located within the visibility triangle as defined in Section [7-100](#).
- j. One five (5) foot wide pedestrian passage way must be maintained around signs on a public sidewalk.
- k. Off-premise portable signs are not permitted.
- l. No attachments to a portable sign are permitted.
- m. Portable signs shall be displayed only during the posted hours the business is open.
- n. The Town reserves the right to prohibit the use of portable signs by established businesses during special events in order to ensure public safety by providing full access to the sidewalk
- o. Height shall not exceed four (4) feet from ground.

I. Projecting:

- 1. Maximum height equals top of wall.
- 2. No signage shall extend over public property except in the Central Business district and in no case shall the bottom of the sign be nearer than nine (9) vertical feet to grade, nor shall the leading edge of the sign be nearer than two (2) linear feet to the curb.
- 3. Maximum number equals one (1) per business.
- 4. An agreement indemnifying the Town of Clarkdale from any liability is required if the sign projects over public right-of-way.
- 5. See Section [7-090](#) for maximum sign square footage.
- 6. Height shall not exceed top of wall.



J. Public Information Not Including Political Signs:

- 1. May be located on private or public property, including in municipal rights-of-way.
- 2. As permitted by law in furtherance of public safety, convenience or economic development.
- 3. Maximum height not to exceed ten (10) feet from existing grade at time of construction.

K. Real Estate:

1. Maximum size equal six (6) square feet.
2. On-site installation only.

L. Sign Walkers:

1. Sign walkers are permitted per Arizona Revised Statutes [9-499.13](#)
2. No sign walker shall obstruct public right-of way.
3. Sign walkers shall only operate during hours of operation for a business being represented or during daylight hours when advertising a subdivision.
4. No throwing of signs in the air, or twirling, spinning or tossing of signs is permitted.
5. Signs shall be limited to no more than eight (8) feet in height.
6. Signs shall not block visibility of pedestrian or vehicular traffic.

M. Special Events:

1. Portable and temporary signs may be used to advertise the Special Event and must comply with Section [7-070-H](#).
2. A maximum of 4 (four) portable and/or banner signs advertising the event are allowed.
3. An unlimited amount of directional signs are permitted.
4. Directional signs may be placed no sooner than twelve (12) hours before the event and shall be removed within two (2) hours after the event.
5. Banners and other temporary signs advertising the event may be placed on private property up to two weeks prior to the event.

N. Subdivision Advertising, Directional and Identification:

1. General: A master sign package for each development including type, number, size, locations, materials and colors of the various signs shall be approved prior to the issuance of a permit for any sign authorized under this section.
2. On-Site Subdivision Identification
 - a. One (1) monument sign may be permitted at each entrance up to a maximum of four (4) signs.
 - b. The maximum aggregate area of all entry signs shall be one hundred sixty (160) square feet, with maximum size of any single sign not to exceed fifty (50) square feet.
 - c. Maximum height shall equal six (6) feet.

3. On-Site Advertising and Directional:
 - a. Maximum height shall equal ten (10) feet.
 - b. The edges of all signs shall be boxed.
 - c. Such signs shall be maintained until such time as ninety-five percent (95%) of the lots in the subdivision are sold, or the sales office closes, whichever occurs first.
 - d. Such signs shall not be located nearer than fifty (50) feet from a lot containing an occupied residence.
4. Off-Site Advertising and Directional:
 - a. Such signs shall be located within one and one half (1.5) miles of the subdivision, on vacant property with the written permission of the property owner.
 - b. A maximum of two (2) signs are permitted for each subdivision and shall not be located on a local street.
 - c. Each sign shall have a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet (six (6) feet in residential zone districts).
 - d. Such signs shall be maintained until such time as ninety-five percent (95%) of the lots in the subdivision are sold, or the sales office close, whichever occurs first.
5. Off-Site Weekend Directional Signs
 - a. Permits are established for each subdivision on an annual basis based on a site plan showing all proposed signs and locations.
 - b. Maximum of eight (8) signs per subdivision.
 - c. Maximum of four (4) square feet per sign.
 - d. Signs shall not be installed before 4:00 p.m. on Friday and must be picked up by 10:00 a.m. on Monday, except when Monday is a holiday, then by 10:00 a.m. on Tuesday.
 - e. Signs shall not be placed in the public right-of-way nor attached to any utility poles, street or regulatory signs, bridges, trees or similar objects.
 - f. Signs shall not be placed on private property without the written permission of the property owner.
 - g. Signs shall be located within one and one half (1.5) miles of the subdivision, separated by not less than fifty (50) feet from any other sign and shall not exceed three (3) feet in height.

O. Temporary Signs and Banners for Commercial Uses

1. Limited to the following:
 - a. Thirty-two (32) square feet maximum.
 - b. Maximum number equals one (1) per street frontage per parcel.
2. Shall be placed on the property for which it advertises.
3. Shall be removed on or before the 30th day from date of the initial installation.
4. Temporary signs shall not count towards the maximum sign size calculation for commercial businesses as specified in Section [7-090](#).
5. No banners shall be hung across any public right-of-way unless specifically granted approval by the Town Manager or designee, or an authorized representative; upon a finding such placement will not be detrimental to public safety and provided such placement shall be for a period of thirty (30) days or less.
6. All banners shall have wind slits.
7. A temporary sign permit is required prior to installation of the sign.

P. Wall

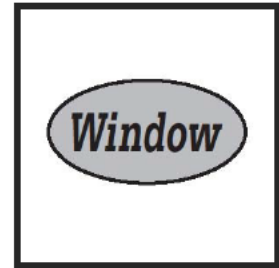
1. Maximum number equals one (1) per approved wall area. An approved wall area, per Definitions, Chapter [2](#) of the Town of Clarkdale Zoning Code, is a wall facing a public street or containing the primary public access.
2. Maximum height equals top of wall to which affixed.
3. Maximum projection from wall surface equals eighteen (18) inches, with a minimum clearance of nine (9) vertical feet if located over a public right-of-way.
4. See Section [7-090](#) for maximum sign square footage.



Q. Window

1. No more than fifty percent (50%) of the window shall be used for signage.

- 2. No more than twenty-five percent (25%) of the allowable window signage shall be illuminated.
- 3. See Section [7-090](#) for maximum sign square footage.



R. Yard Sale

- 1. Must contain the date and address of the yard sale.
- 2. Must be removed within seventy-two (72) hours of placement.
- 3. Shall be weighted so as to not fly around
- 4. Shall be located on private property.
- 5. Shall not exceed four (4) square feet.
- 6. Shall not be attached to traffic control devices, utility poles or street signs. (Revised by Ordinance #438 on 12/10/24; effective 1/10/25; Revised by Ordinance #435 on 12/10/24; effective 1/10/25; Revised by Ordinance #427 on 8/13/24; effective 9/14/24; prior code § 7-8)

Section 7-090 Maximum Sign Square Footage for Commercial Uses

Commercial business located in commercial zoning districts and multi-family developments shall use a combination of awnings, wall, window, freestanding and projecting signage on-site to promote their business. Maximum cumulative signage is calculated based on linear street frontage. The maximum allowance is available for each street frontage on which the commercial building has a public entrance.

Linear Street Frontage	Maximum total square footage of sign area
50	75
100	150
150	225
200	300
250	375
300	450
350	525
400	600

Linear Street Frontage	Maximum total square footage of sign area
450	675
500	750

The maximum allowable combined signage size is calculated as one and one half (1.5) square feet per one (1) linear foot of street frontage.

All commercial signs, except for temporary signs, are subject to design review and approval and shall meet all of the criteria for design review listed in Section [11-040](#), including the requirements that all signage shall be visually compatible with the buildings, structures and places to which it is related. This should be taken into consideration when allocating square footage to the various types of signs proposed for a development.

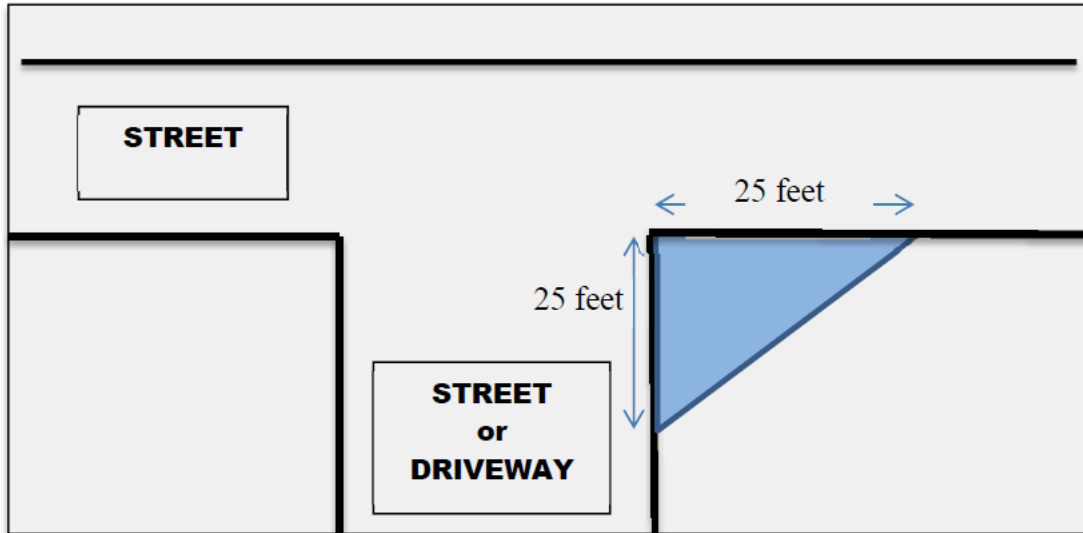
At no time shall design review apply to the content of a sign. (Revised by Ordinance #438 on 12/10/24; effective 1/10/25; prior code § 7-9)

Section 7-100 Visibility Sight Lines

To preserve visibility at intersections, an unobstructed view shall be maintained within these triangular areas:

1. At the intersection of two (2) streets, or where a driveway or alley intersects a street, a triangle defined by measuring twenty-five (25) feet in length along the curb or edge of improved roadway from their point of intersection, the third side being a diagonal line connecting the first two (2). The Town may require more than twenty-five (25) feet in high volume, high speed traffic areas.





2. No signs, except traffic signs, shall exceed a height of thirty (30) inches above the grade of the lower roadway within the triangular area. In addition, sign projection, or overhang, across this area shall be permitted only when the bottom of the sign is a minimum of nine (9) feet above the grade of the higher roadway. (Revised by Ordinance #438 on 12/10/24; effective 1/10/25; prior code § 7-10)

Section 7-110 Permitted Signs by Type and Zone District Chart

Sign Type	R1A	R1	R1L	RS3	R2	R3	R4	R4A	CB	C	I	Fee/ Permit	Design Review
Animated	N	N	N	N	N	N	N	N	P	P	P	Y	Y
Awning	N	N	N	N	P	P	P	P	P	P	P	Y	Y
Freestanding Monument	P	P	P	P	P	P	P	P	P	P	P	Y	Y
Ideological ⁽¹⁾	P	P	P	P	P	P	P	P	P	P	P	N	N
Illuminated ⁽²⁾	N	N	N	N	N	N	N	N	P	P	P	Y	Y
Off-premise Commercial	N	N	N	N	N	N	N	N	P	P	P	Y	Y
On-site info Commercial	N	N	N	N	P	P	P	P	P	P	P	Y	Y
Neon	N	N	N	N	N	N	N	N	P	P	P	Y	Y
Projecting	N	N	N	N	P	P	P	P	P	P	P	Y	Y
Political ⁽³⁾	P	P	P	P	P	P	P	P	P	P	P	N	N
Portable	N	N	N	N	N	N	N	N	P	P	N	Y	Y
Projecting	N	N	N	N	P	P	P	P	P	P	P	Y	Y

P = Permitted N= Not Permitted

Sign Type	R1A	R1	R1L	RS3	R2	R3	R4	R4A	CB	C	I	Fee/ Permit	Design Review
Public info.	P	P	P	P	P	P	P	P	P	P	P	N	N
Real estate ⁽⁴⁾	P	P	P	P	P	P	P	P	P	P	P	N	N
Special Events	P	P	P	P	P	P	P	P	P	P	P	Y	N
Subdivisions Adv., Directional, ID	P	P	P	P	P	P	P	P	P	P	P	Y	Y
Temporary ⁽⁵⁾	N	N	N	N	P	P	P	P	P	P	N	Y	N
Wall ⁽⁶⁾	P	P	P	P	P	P	P	P	P	P	P	Y	Y
Window	N	N	N	N	P	P	P	P	P	P	P	Y	Y
P = Permitted N= Not Permitted													

- (1) Not to exceed six (6) square feet.
- (2) Not permitted within seventy-five (75) feet of a residential district for PUD or PAD development.
- (3) Political signs not permitted in 'sign free' zones.
- (4) For sale, for lease signs not to exceed six (6) square feet in residential districts.
- (5) Permitted for a maximum of thirty (30) days for bonafide Grand Openings, Going Out of Business Sales, Open House, or similar short term events.
- (6) Home occupation only signs permitted in residential districts.

(Prior code § 7-11)

Section 7-120 Enforcement

- A. All signs shall be subject to inspection and approval by the Community Development Department to ensure compliance with the Zoning Code and design review approval.
- B. Footing inspections shall be required for all signs with footings.
- C. Signs containing electrical wiring shall conform to the standards of the applicable electrical code and the components shall bear the label of a testing agency approved by the State of Arizona.
- D. When, in the opinion of the Town Manager or authorized representative, reasonable cause exists concerning the safety of a proposed or existing sign structure, the applicant or owner shall furnish written documentation from a registered civil, structural, electrical or mechanical engineer certifying its safety. The Town reserves the right to order removal of a sign on the basis of a threat to public safety.
- E. Notice of noncompliance of any sign shall be given to the owner and user of such sign by first class mail sent to the last known address of the owner and user as shown on the records of the Yavapai County Assessor.
- F. Failure to remove or bring the sign into compliance in accord with a notice given pursuant to subsection [E](#) of this section shall result in appropriate enforcement action, including but not limited to:
 1. The Town Attorney, acting on behalf of the Town Council, shall seek the removal of any sign not erected in compliance with this code or maintained in a safe manner; and
 2. The billing of the owner or user of such sign an amount equal to the costs to the Town in removing and storing any such sign; or
 3. Issuance of a citation by the Clarkdale Police Department for the offending party(ies) to appear before the Town Magistrate.

G. For Definitions see Chapter [2](#) of the Zoning Code. (Revised by Ordinance #438 on 12/10/24; effective 1/10/25; prior code § 7-12)

Section 7-130 Permitted Sign Table

SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
Animated	Barber Poles and Time/ Temperature Devices only. Included in maximum area calculations.	1	Freestanding, wall or projection	50 square feet	Not to project above roof line	Beyond the site triangle	Commercial
Awning	Signage on awning shall not project above awning surface. 9-foot vertical clearance required.						Commercial- counts towards maximum signage square footage.
Bed & Breakfast	One wall or one freestanding sign only	One	Wall or freestanding	3 square feet	8 feet for wall mounted, 30 inches for freestanding		
Freestanding Monument	Base of sign must be in	1 monument sign per	Freestanding	Proportional to lot frontage.	10 feet from existing grade at time	Minimum (signs < 6 feet high) = one	Subdivisions, multi-family developments

SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
	proportion to the sign itself.	adjacent intersection.		See Section 7-070 of Zoning Code.	of construction	foot for each foot of sign height; Minimum (signs > or = 6 feet high) = greater than or equal to sign height	and commercial
Home Occupancy	Non-illuminated Limited to name and occupation only.	1	Wall or freestanding	3 square feet	Top of wall or 30 inches for freestanding	N/A	Residential
Off-premise Commercial Signs	600 foot minimum separation between off-premise signs. 200 foot minimum separation between off-	1 per street frontage per parcel where located.	Freestanding	32 square feet for single use; 50 square feet for multiple uses.	10 feet from existing grade at time of construction.	Equal to minimum setback of zoning district if property is developed. Minimum of 10 feet if	Central Business, Commercial and Industrial Districts only

SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
	premise and on-premise signs.					property is undeveloped	
On-Site Information	Shall not contain advertising script or symbols.	As approved during review of a master sign application. Shall not contain advertising.	As approved during review of a master sign application.	As approved during review of a master sign application.	As approved during review of a master sign application.	As approved during review of a master sign application.	Central Business, Commercial and Industrial Districts only
Neon	Only illuminated during business operation hours.		Projection, window or wall				Central Business/ Commercial
Political	Not permitted in sign free zones. Permitted 60 days prior to election, must be	N/A	Temporary	16 square feet in residential districts. 32 feet in commercial districts.			All

SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
Portable	removed by 15 days after election. Must not impede pedestrian traffic. Shall not be reflective. No attachments are permitted. Off-premise portable signs are not permitted.	1	Temporary	6 square feet	Not to exceed 4 feet		Central Business and Commercial Districts only.
Projecting	Minimum of 9 feet from grade - 2 feet from curb. Indemnity agreement required if	1 per business	Projecting	Cumulative based on linear street frontage.	Top of wall	N/A	Central Business, Commercial and Industrial

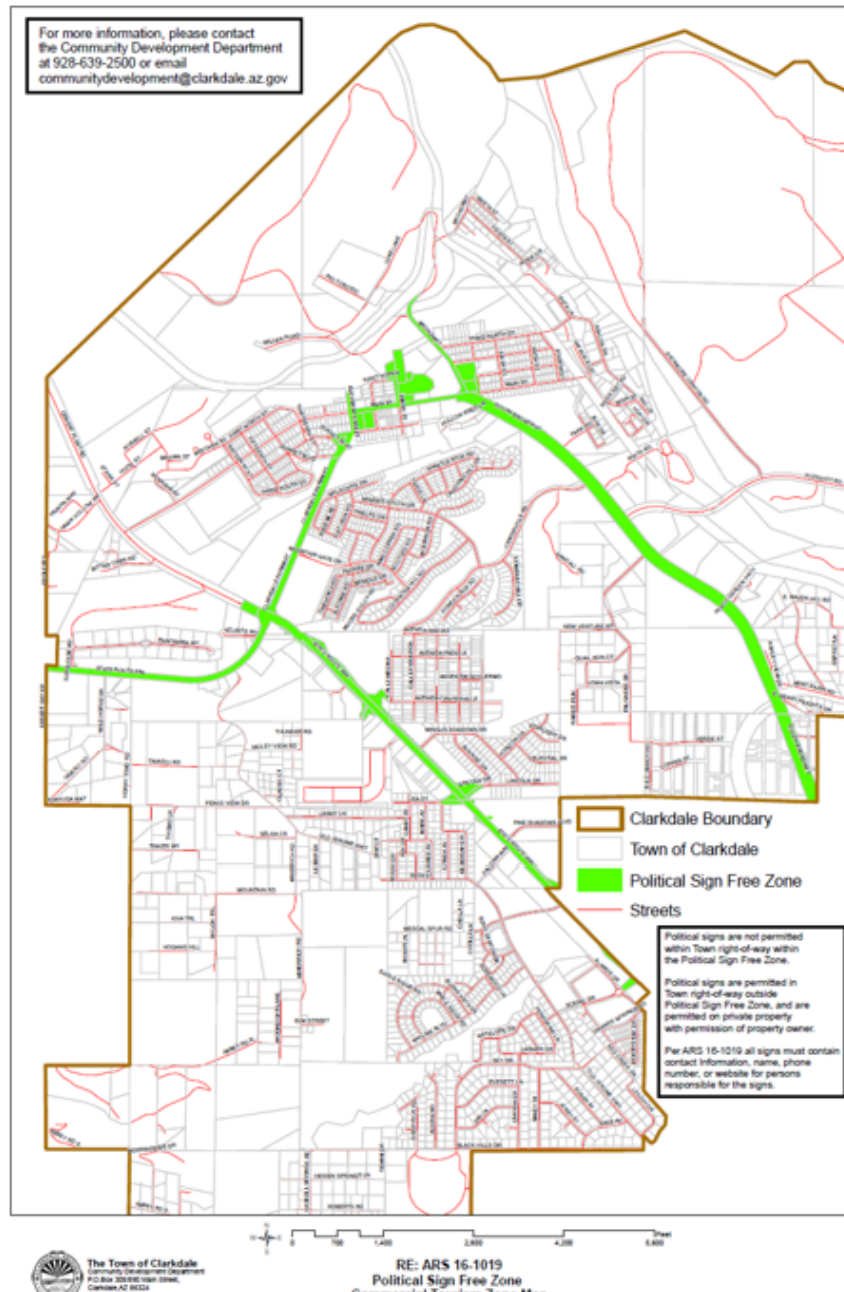
SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
	sign projects over sidewalk						
Public Information	May be located on private or public property, including right-of-way.		Permanent/ Temporary		10 feet from existing grade at time of construction.		All
Real Estate	On-site installation only		Temporary	6 square feet	Not to exceed 4 feet from existing grade		All
Sign Walkers	Shall not obstruct right-of-way. Shall only operate during hours of business being represented	One	Temporary		8 feet		All

SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
Subdivision On-Site Monument	Must be approved as part of sign package.	One per entry	Permanent	160 square feet	10 feet		
Subdivision Off-site	Shall be located within 1.5 miles	Two	Temporary	32 square feet	8 feet, 6 feet in residential zoning districts		All
Subdivision, Weekend off-site directional	Must have permit - shall be installed before 4 pm on Friday and removed by 10 am on Monday.	8 per subdivision	Temporary	4 square feet	Not to exceed feet from existing grade		All
Temporary-Signs and Banners	30 days only - permit required	One per street frontage per parcel		32 square feet	To be determined during permitting		All
Wall		One per approved wall area	Permanent	Cumulative based on linear street frontage.	Top of wall		Commercial, Central Business and Industrial

SIGN TYPE	LIMITATIONS	ALLOWED PER BUSINESS/ DEVELOPMENT	INSTALLATION TYPE	MAXIMUM SIZE	MAXIMUM HEIGHT	PROPERTY SET BACKS	ZONING DISTRICTS
Window	No more than 25 percent of allowable window signage may be illuminated		Permanent	No more than 50 percent of window. Cumulative based on linear street frontage.	N/A		Commercial, Central Business and Industrial
Yard Sale	Shall be located on private property	One	Temporary		Not to exceed 4 square feet		All

(Revised by Ordinance #438 on 12/10/24; effective 1/10/25; prior code § 7-13)

Section 7-140 Political Sign-Free Zone Map



(Revised by Ordinance #438 on 12/10/24; effective 1/10/25; Revised by Ordinance #435 on 12/10/24; effective 1/10/25; prior code § 7-14)

The Clarkdale Zoning Code is current through Ordinance #438, passed December 10, 2024.

Disclaimer: The Town Clerk has the official version of the Clarkdale Zoning Code. Users should contact the Town Clerk for ordinances passed subsequent to the ordinance cited above.

[Town Website: www.clarkdale.az.gov](http://www.clarkdale.az.gov)

[Town Telephone: \(928\) 639-2400](tel:(928)639-2400)

[Hosted by General Code.](#)



Pinch Image to Zoom In



Width (in.)

9 in

[See Similar Items](#)

Number in Pack

4

[See Similar Items](#)

Dimensions

Product Depth (in.)	9 in
Product Height (in.)	5.9 in
Product Width (in.)	9 in

Details

Color/Finish	Black
Dimmable Capability	Non Dimmable
Fitter Width (in.)	2.25 in
Indoor/Outdoor	Indoor
Number in Pack	4
Product Weight (lb.)	0.66 lb
Returnable	90-Day
Shade Color Family	Black
Shade Fitter Type	Lip
Shade Material	Metal
Shade Shape	Cone
Shade Type	Pendant

Warranty / Certifications

Certifications and Listings	ETL Listed
Manufacturer Warranty	N/A



Staff Report

Item Number: 5.D.

Agenda Item:

Exterior Signage at Bodega Pierce Winery

Discuss, consider and act upon the Design Review Wall Sign Application PC-250088 for exterior signage at Bodega Pierce Winery.

Staff Contact:

Britania Esparza, Associate Planner

Meeting Date:

July 15, 2025

Strategic Goal:

This agenda item supports the following Clarkdale Strategic Goal Area:

- Goal Area 1 - Enhance the quality of life for residents, businesses, and visitors to Clarkdale.
- Goal Area 3 - Strengthen and diversify our economy through cultivating a business-friendly climate for business attraction and strategically capitalizing upon tourism.

Background:

Bodega Pierce Winery, located at 1331/1341 SR 89A, is requesting the addition of wall signage to their crush pad building. The applicant is proposing a backlight sign with lettering approximately 24-inches high; the area of the sign lettering is 40 square feet. There is an existing 48-by-96-inch two-sided monument sign on the property aligned perpendicular to SR 89A.

Below are the standards for Wall Signs as set forth in the existing code:

Wall Signs (Section 7-080.P):

1. One sign is permitted per approved wall area, defined as a wall facing a public street or containing the primary public entrance.
2. The maximum height allowed is the height of the wall to which the sign is affixed.
3. Signs may project up to 18 inches from the wall surface, with a required minimum vertical clearance of 9 feet if extending over a public right-of-way.
4. Maximum allowable sign square footage is governed by Section 7-090.

The total frontage of the subject parcel is 445.2 linear feet; this entitles the applicant to a total of 600 square feet of signage as set forth in Section 7-

090. As only one side of a two-sided sign counts in the area measurements, the total signage used to date is 72 square feet, well below the allowed 600 square feet.

It is important to note that, per the U.S. Supreme Court ruling in *Reed v. Town of Gilbert*, the Design Review Board's authority, applies only to the manner and placement of signage, not to its content.

Staff have reviewed the application and found that it is in full compliance with the Town of Clarkdale Zoning Code, Chapter 7 – Signs. Specifically, the application conforms to all applicable standards regarding illumination, size, materials, and placement, as outlined in Chapter 7, Signs.



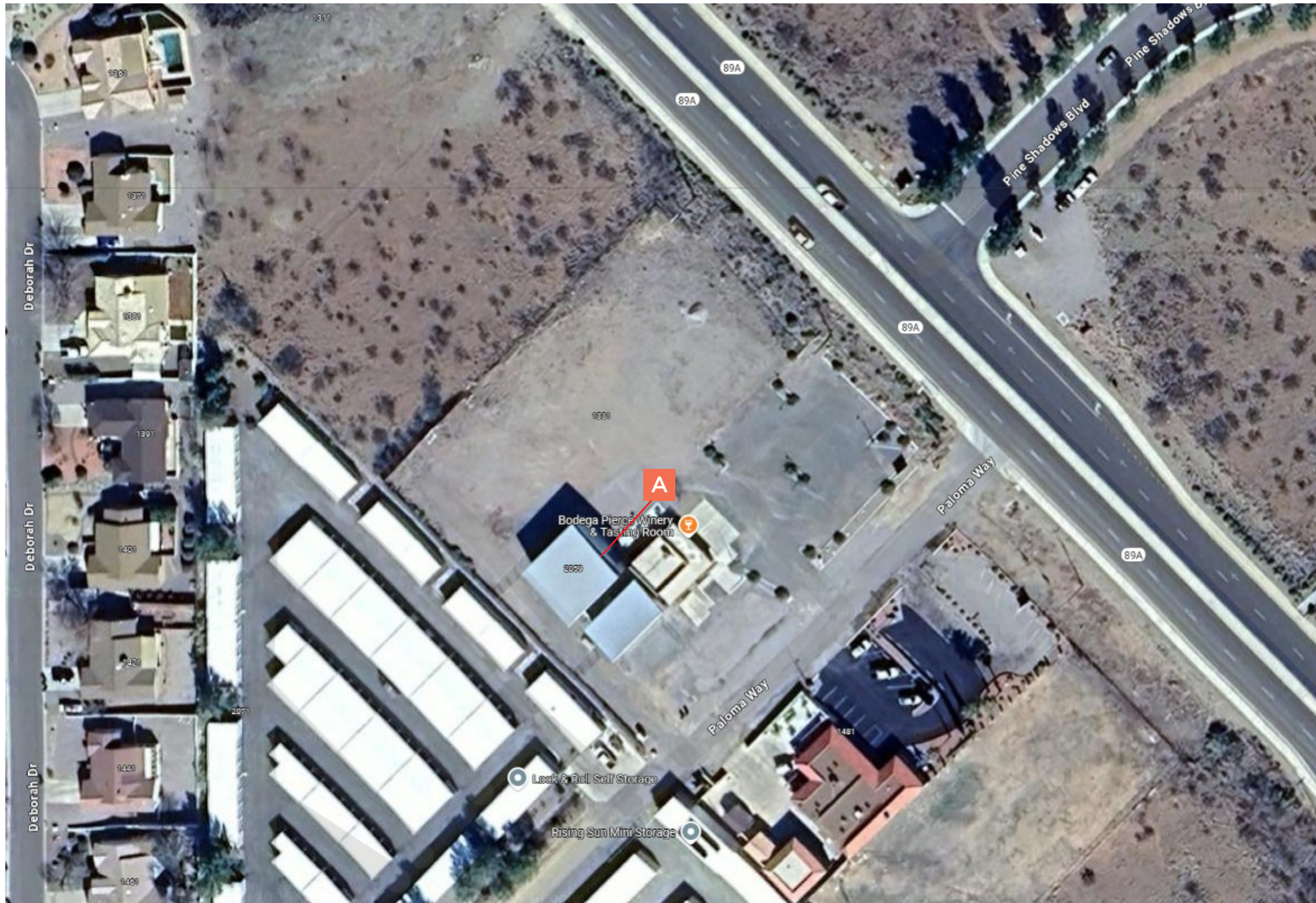
Budget Impact: No budget impact.

Recommendation: Staff recommends that the Planning Commission approve the Design Review Wall Sign Application PC-250088 for exterior signage at Bodega Pierce Winery.

Site Map

Legend

A Illum. RPC Letters



Scale: 1"=50'-0"



Customer Approval

Name

Co/Title

Date

Landlord Approval

Name

Co/Title

Date



Locations:

9200 Valley Rd.
Prescott Valley,
Arizona 86314

21640 N. 19th Ave.
Suite C-3
Phoenix, AZ 85027

800-257-5095 arizonasignsplus.com

Project:

Bodega Pierce Winery & Tasting Room

Project Location:
1341 AZ-89A | Clarkdale, AZ 86324

Account Executive:

Chris Gilliland

Project Manager:

Design Number: 250637

Design / Revision Date:

01-06/17/2025 AL
02-06/19/2025 AL

Sheet:

1 OF 2

Sign A - Halo-Illuminated Reverse Pan Channel Letters

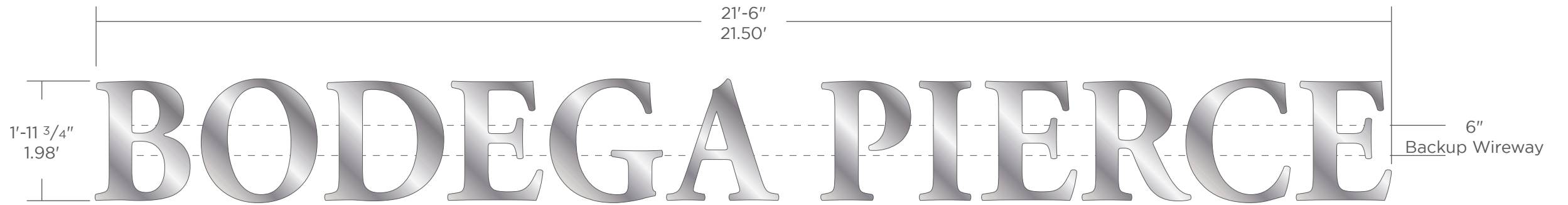
Sign Allowance/Code

Commercial Signs:
50.5 max sign area

Materials

1 Letters

- .063 aluminum 3" returns
- .125 aluminum faces
- .177 clear lexan back
- white LED halo-illuminated
- letters painted P1
- stud mounted 1 1/2" off the wall
- 3 sided .040 raw aluminum wireway is needed on the back side of the wall.



Face View

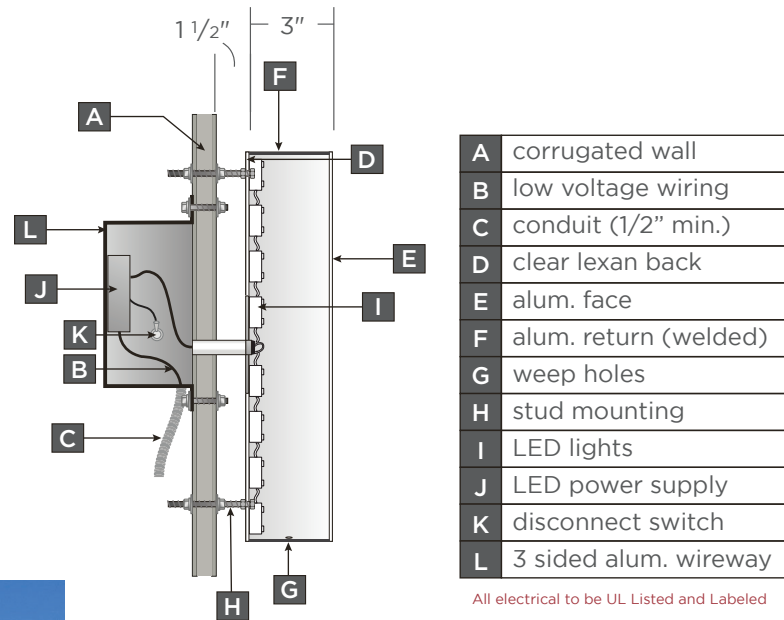
Scale: 1/2"=1'-0"

Perimeter: 127

SQFT: 42.57

Description:

Manufacture and install one (1) set of white halo-illuminated reverse pan channel letters.



RPC Letters / LEDs - Cross Section Detail

Scale: NTS

Paint Colors

P1 Brushed Aluminum

Vinyl Colors

Customer Approval

Name

Co/Title

Date

Landlord Approval

Name

Co/Title

Date



Proposed Elevation

Scale: 3/32"=1'-0"



Existing Elevation

Scale: NTS



Backside of the wall

Scale: NTS



Locations:

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800-257-5095 arizonasignsplus.com

Project:

Bodega Pierce Winery & Tasting Room

Project Location: 1341 AZ-89A | Clarkdale, AZ 86324

Account Executive:

Chris Gilliland

Project Manager:

Design Number: 250637

Design / Revision Date:

01-06/17/2025 AL
02-06/19/2025 AL

Sheet:

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